

Chapter 18.04 RESIDENTIAL DISTRICTS Revised 11/20 Revised 3/21

Sections:

- 18.04.010 Purpose.** Revised 11/20 Revised 3/21
- 18.04.020 Land use regulations.** Revised 11/20 Revised 3/21
- 18.04.030 Development standards—RS districts.** Revised 11/20
- 18.04.040 Supplemental regulations—RS districts.**
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- 18.04.060 Supplemental regulations—RM districts.**
- 18.04.070 Residential development types.** Revised 11/20

18.04.010 Purpose. Revised 11/20 Revised 3/21

The specific purposes of the residential districts are to:

- A. Preserve, protect, and enhance the character of the City's different residential neighborhoods.
- B. Ensure adequate light, air, and open space for each dwelling.
- C. Ensure that the scale and design of new development and alterations to existing structures are compatible with surrounding homes and appropriate to the physical characteristics of the site and the area where the project is proposed.
- D. Provide sites for public and semi-public land uses, such as parks and public safety facilities, that will serve City residents and will complement surrounding residential development.

Additional purposes of each residential district which follow implement General Plan classifications of "Single-Family, 3 du/acre," "Single-Family, 6 du/acre" "Multi-Family, 15-20 du/acre," "Multi-Family, 45-59 du/acre," and Multi-Family, 75-100 du/acre."

- E. RS-3 Single-Family, Low Density. This district is intended for residential densities up to three (3) units per net acre. Dwelling types may include detached single-unit housing and accessory dwelling units. In addition to single-unit homes, this district provides for uses such as small and large family child care, park and recreation facilities, and community gardens that may be appropriate in a single-family residential neighborhood.
- F. RS-6 Single-Family. This district is intended for residential densities up to six (6) units per net acre. Dwelling types may include detached single-unit housing, small lot single-unit development, duplexes,

townhomes, and accessory dwelling units. This district also allows for uses such as small and large family child care, park and recreation facilities, and civic and institutional uses such as schools and places for community assembly that may be appropriate in a single-family residential neighborhood.

G. RM-20 Multiple-Family, ~~Low Density~~. This district is intended for residential densities of up to twenty (20) units per net acre developed at a scale and form that is appropriate to its neighborhood context and adjacent uses. Dwelling types include small lot single-unit development, bungalow courts, front or rear loaded townhomes, multi-unit buildings, and accessory dwelling units. This district also allows for limited uses such as small and large family day care, park and recreation facilities, and civic and institutional uses such as schools and places for community assembly that are appropriate in a low density multifamily residential environment.

H. RM-59 Multiple-Family, ~~Medium Density~~. This district is intended for residential development at densities up to fifty-nine (59) units per net acre. This density range accommodates townhomes and multi-unit buildings developed at a scale and form that is appropriate to its neighborhood context and adjacent single-family residential uses and forms. Small lot single-unit and bungalow court development is allowed where site conditions exist rendering the development type equal to or better than multi-unit or townhome development. Accessory dwelling units are also permitted in this district. In addition to residential uses, this district allows for a limited number of public and semi-public uses such as day care centers, public safety facilities, and residential care facilities that are appropriate in a medium density multifamily residential environment. (Ord. 1568 § 1 (Exh. A), 2021; Ord. 1566 (Exh. B (part)), 2020; Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

I. RM-100 Multi-Family. This district is intended for residential development at densities up to one hundred (100) units per net acre. This density range accommodates townhomes and multi-unit buildings developed at a scale and form that exemplifies high quality development. Accessory dwelling units are also permitted in this district. In addition to residential uses, this district allows for a limited number of public and semi-public uses such as day care centers, public safety facilities, and residential care facilities that are appropriate in a high density multifamily residential environment.

18.04.020 Land use regulations. Revised 11/20 Revised 3/21

Table 18.04.020 prescribes the land use regulations for residential districts. The regulations for each district are established by letter designations as follows:

“P” designates permitted uses.

“M” designates use classifications that are permitted after review and approval of a minor use permit by the Zoning Administrator.

“C” designates use classifications that are permitted after review and approval of a conditional use permit by the Planning Commission.

“(#)” numbers in parentheses refer to specific limitations listed at the end of the table.

“-” designates uses that are not permitted.

Use classifications are defined in Chapter [18.40](#), Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other sections of this title.

TABLE 18.04.020: LAND USE REGULATIONS—RESIDENTIAL DISTRICTS

Use Classification	RS-3	RS-6	RM-20	RM-59	<u>RM-100</u>	Additional Regulations
Residential Uses						
Residential Housing Types	See subclassifications below					
Single-Unit Dwelling	P	P	-	-	-	See Section 18.04.070 , Residential development types
Small Lot Single-Unit Development	-	C(1)	P	C(2)	<u>C(2)</u>	
Bungalow Court	-	C(1)	P	C(2)	<u>C(2)</u>	
Accessory Dwelling Unit	P	P	P	P	<u>P</u>	
Junior Accessory Dwelling Unit	P	P	-	-	-	
Duplex	-	C	P	-	-	
Townhouse Development	-	C	P	P	<u>P</u>	
Multi-Unit Residential	-	-	P	P	<u>P</u>	
Elderly and Long-Term Care	-	-	-	C	<u>C</u>	

Family Day Care	See subclassifications below					
Small	P	P	P	P	<u>P</u>	
Large	P	P	P	P	<u>P</u>	
Group Residential	-	-	-	P	<u>P</u>	
Residential Care Facilities	See Subclassification below					
General	-	-	M	M	<u>M</u>	See Section 18.23.200 , Residential care facilities
Limited	P	P	P	P	<u>P</u>	
Senior	-	-	M	M	<u>M</u>	See Section 18.23.200 , Residential care facilities
Single Room Occupancy	-	-	C	C	<u>C</u>	See Section 18.23.220 , Single room occupancy hotels
Transitional Housing	P	P	P	P	<u>P</u>	See Section 18.23.250 , Transitional and supportive housing
Supportive Housing	P	P	P	P	<u>P</u>	See Section 18.23.250 , Transitional and supportive housing
Public and Semi-Public Uses						
Community Assembly	-	C	-	C	C	See Section 18.23.080 , Community assembly facilities
Community Garden	P	P	P	P	P	
Cultural Institution	-	C	-	C	C	
Day Care Centers	-	-	-	P	<u>P</u>	See Section 18.23.090 , Day care
Park and Recreation Facilities, Public	P	P	P	P	P	
Public Safety Facilities	-	C	C	C	C	

Schools, Public or Private	-	C	C	C	<u>C</u>	
Social Service Facilities	-	-	-	M	<u>M</u>	
Commercial Uses						
Eating and Drinking Establishments, Convenience	-	C(3)	-	-	-	See Section 18.23.140 , Outdoor dining
Retail Sales, Convenience Markets	-	C(3)	-	-	-	
Transportation, Communication, and Utilities Uses						
Communication Facilities	See Chapter 18.24 , Wireless Telecommunications Facilities					
Utilities, Minor	P	P	P	P	<u>P</u>	
Other Applicable Types						
Accessory Uses and Structures	See Sections 18.15.020 , Accessory buildings and structures, and 18.23.030 , Accessory uses					
Home Occupations	P	P	P	P	<u>P</u>	See Section 18.23.120 , Home occupations
Nonconforming Use	Chapter 18.19 , Nonconforming Uses, Structures, and Lots					
Temporary Use	See Section 18.23.240 , Temporary uses					

Specific Limitations:

1. In addition to standard use permit findings, the Planning Commission must find that the development is designed with massing and height that is sensitive to the building pattern of the area and adjacent properties.
2. In addition to standard use permit findings, the Planning Commission must find that specific site conditions exist such that the proposed development type is equal to or better than multi-unit residential or townhouse development types with regard to design and achievable density and the project is designed with massing and height that is sensitive to the building pattern of the area and adjacent properties.
3. Subject to the following limitations:
 - a. Limited to cafes, coffee shops, delis, and neighborhood markets. Full service restaurants are not allowed.

- b. Limited to one thousand five hundred square feet of sales area.
- c. Hours of operation are limited to between seven a.m. and nine p.m.
- d. Must be located within a two-story building.
- e. Must be located on a corner lot with frontage on an arterial a minimum of one-half mile from the MU-DC-100, ~~and~~ MU-D-100, and MU-D-120 districts and other existing neighborhood-serving retail.
- f. In addition to the findings required for all use permits, the Planning Commission must find that the proposed use promotes community health, interaction, and socialization of the neighborhood; complements the residential character of the surrounding neighborhood; and will not adversely impact adjacent properties.

(Ord. 1568 § 1 (Exh. A), 2021; Ord. 1566 (Exh. B (part)), 2020; Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

18.04.030 Development standards—RS districts. Revised 11/20

Table 18.04.030 prescribes the development standards for RS districts. Additional regulations are denoted in a right-hand column. Section numbers in this column refer to other sections of this title, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below refer to corresponding regulations in the “#” column in the associated table.

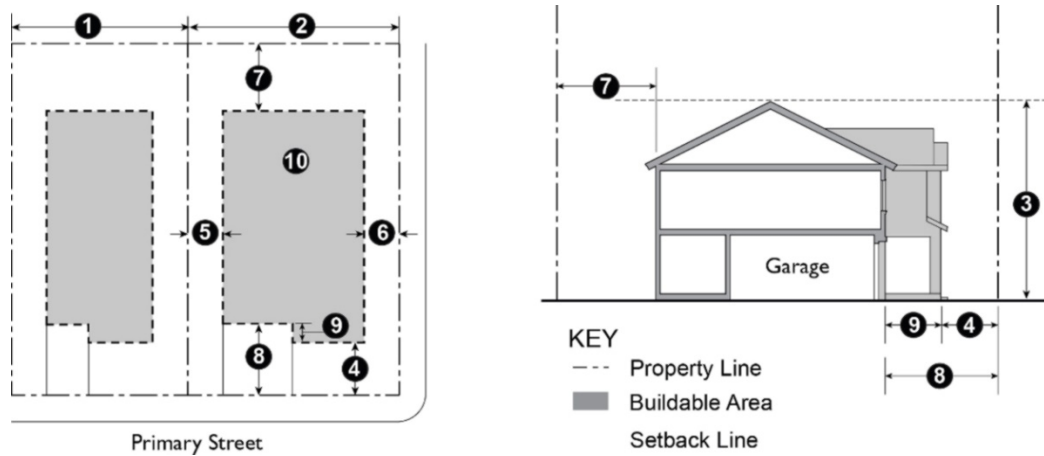


TABLE 18.04.030: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS

District	RS-3	RS-6	Additional Regulations	#
Lot and Density Standards				

TABLE 18.04.030: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS

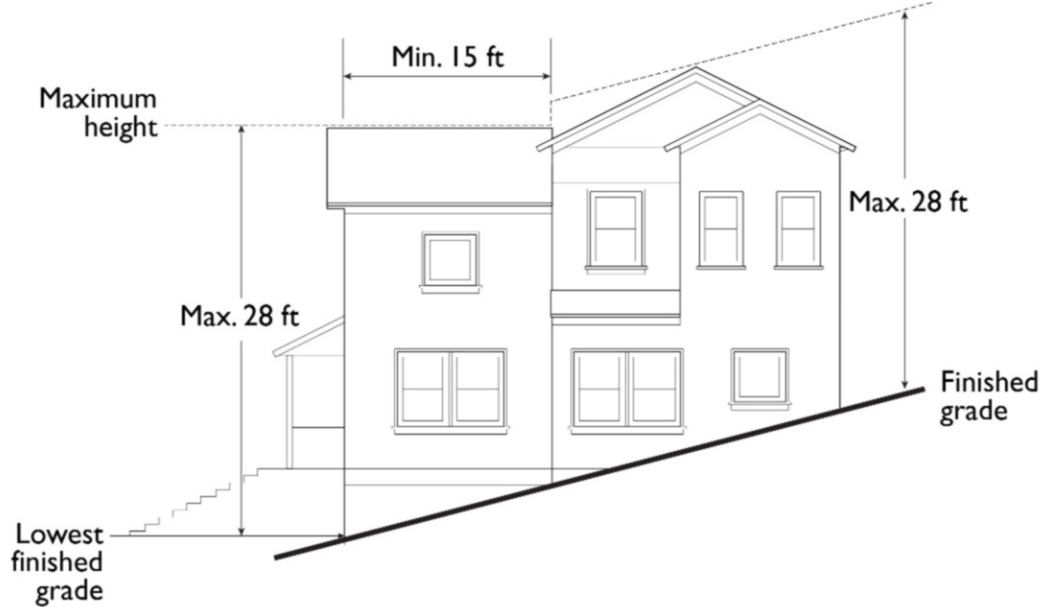
District	RS-3	RS-6	Additional Regulations	#
Maximum Density (units/net acre)	3	6		
Minimum Lot Size (sq. ft.)	10,000	5,000		
Corner Lots	10,000	6,000		
Minimum Lot Width (ft.)	75	40		1
Corner Lots	75	60		2
Maximum Floor Area				
Maximum Floor Area (MFA)		For lots less than or equal to 7,500 sq. ft. MFA is the greater of 1,100 sq. ft. + 35% of the lot area or 50% of the lot area; for lots greater than 7,500 sq. ft. MFA is 50% of the lot area.	See Chapter 18.03 , Rules of Measurement; See Section 18.23.210 for accessory dwelling unit and junior accessory dwelling unit standards	
Building Form and Location				
Maximum Height (ft.)	28 (A)	28 (A)	See Section 18.15.060 , Height and height exceptions	3
Public and Semi-Public Uses	28	45		
Minimum Setbacks (ft.)				
Front	20	1st Story: 15 (B) 2nd Story: 19	See Section 18.15.080 , Projections into yards	4

TABLE 18.04.030: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS

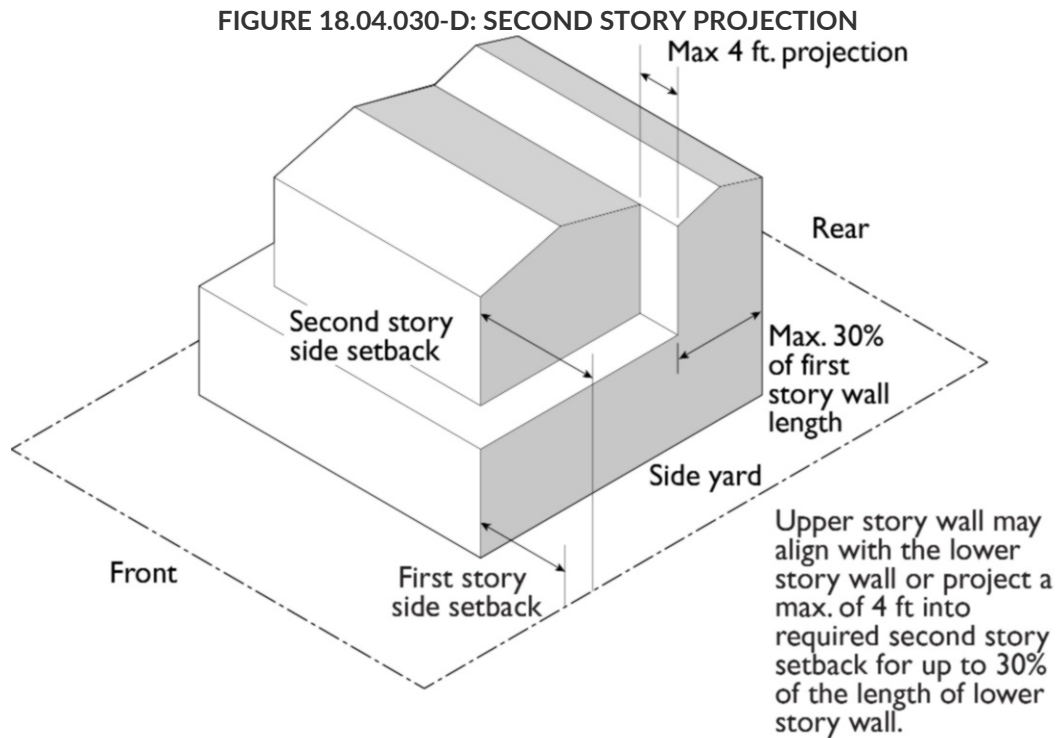
District	RS-3	RS-6	Additional Regulations	#
Interior Side	1st Story: 10 2nd Story: 14 (D)	1st Story: 5 (C) 2nd Story: 9 (D)		5
Street Side	1st Story: 10 (E) 2nd Story: 14 (D, E)	1st Story: 7.5 (E) 2nd Story: 11.5 (D, E)		6
Rear	20	15 (F)		7
Garage, from property line	20	20		8
Garage, from primary facade	5 (G)	5 (G)		9
Maximum Lot Coverage (Percent of Lot)	25 in H Overlay 35 outside H Overlay	50	See Chapter 18.03 , Rules of Measurement	10

A. Building Height, Single-Family Homes. Within the front and rear fifteen feet of the building, the maximum height shall be no more than twenty-eight feet, measured as a vertical distance from the lowest finished grade at the building face to the topmost point of the roof.

FIGURE 18.04.030-A: BUILDING HEIGHT, SINGLE-FAMILY HOMES

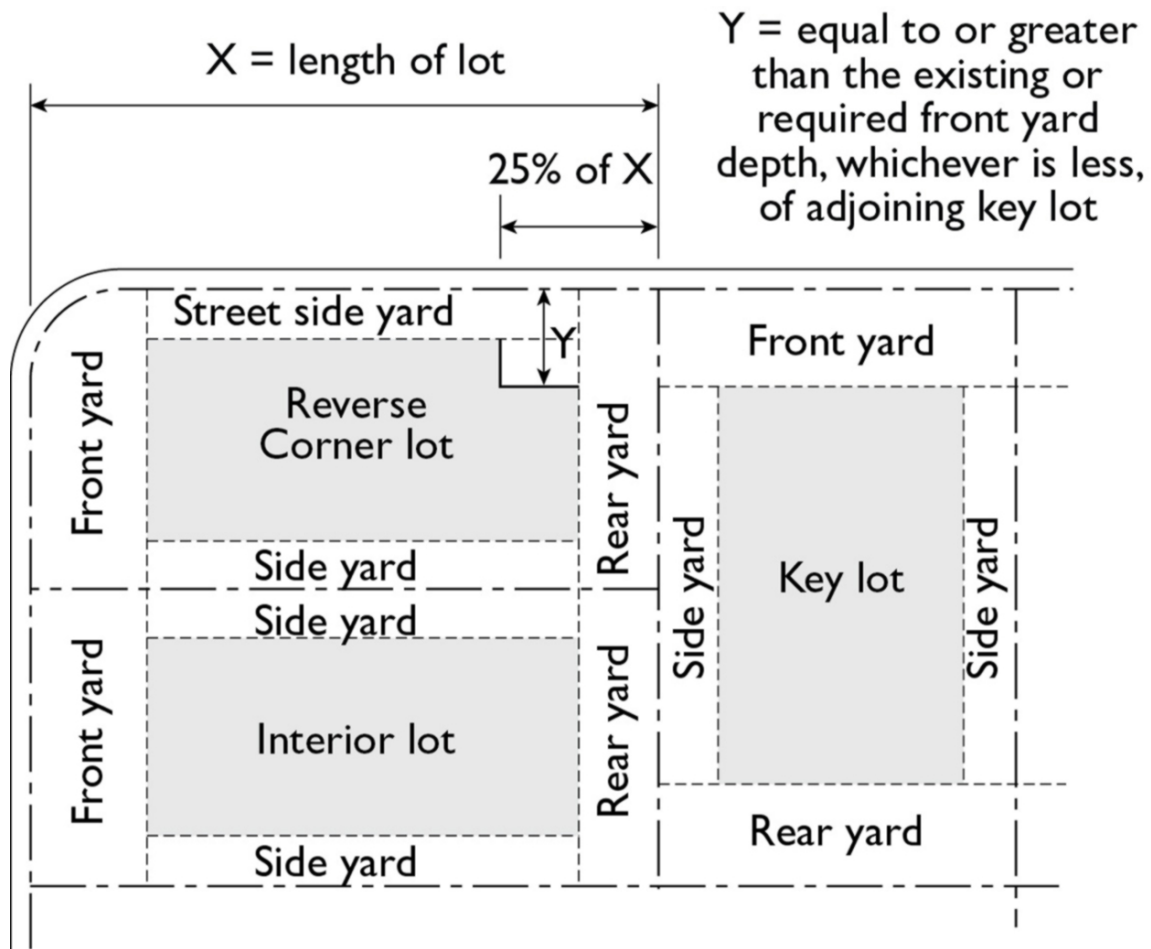


- B. Ground Floor Front Setback. Where twenty-five percent or more of the lots on the same block face have been improved with buildings, the minimum ground floor front setback requirement shall be the average of the actual front setback of all improved lots on such block face or fifteen feet, whichever is less.
- C. Narrow Lot Side Setback. The minimum ground floor side setback for lots with an average width of forty-five feet or less shall be a minimum of ten percent of the lot width, or three feet, whichever is greater.
- D. Second Story Projection. The upper story may align with the lower story or project a maximum of four feet into the required second story setback for up to thirty percent of the length of the lower story.



E. Street Side Setbacks on Lots with Reversed Frontage. The exterior side setback in the rear twenty-five percent of a reversed corner lot shall not be less than the front yard required or existing, whichever is less, on the adjoining key lot.

FIGURE 18.04.030-E: STREET SIDE SETBACKS ON LOTS WITH REVERSED FRONTAGE



F. Rear Setback. The ground floor may be located up to five feet from the rear property line if a minimum of fifteen percent of the area of the building site is provided clear and unobstructed to the rear of the dwelling.

G. Garage Setback Exception. Exceptions to the garage setback may be granted through the design review process where the review authority finds the visual prominence of the garage has been minimized and the site is small and constrained such that locating the garage five or more feet from the primary facade is not feasible.

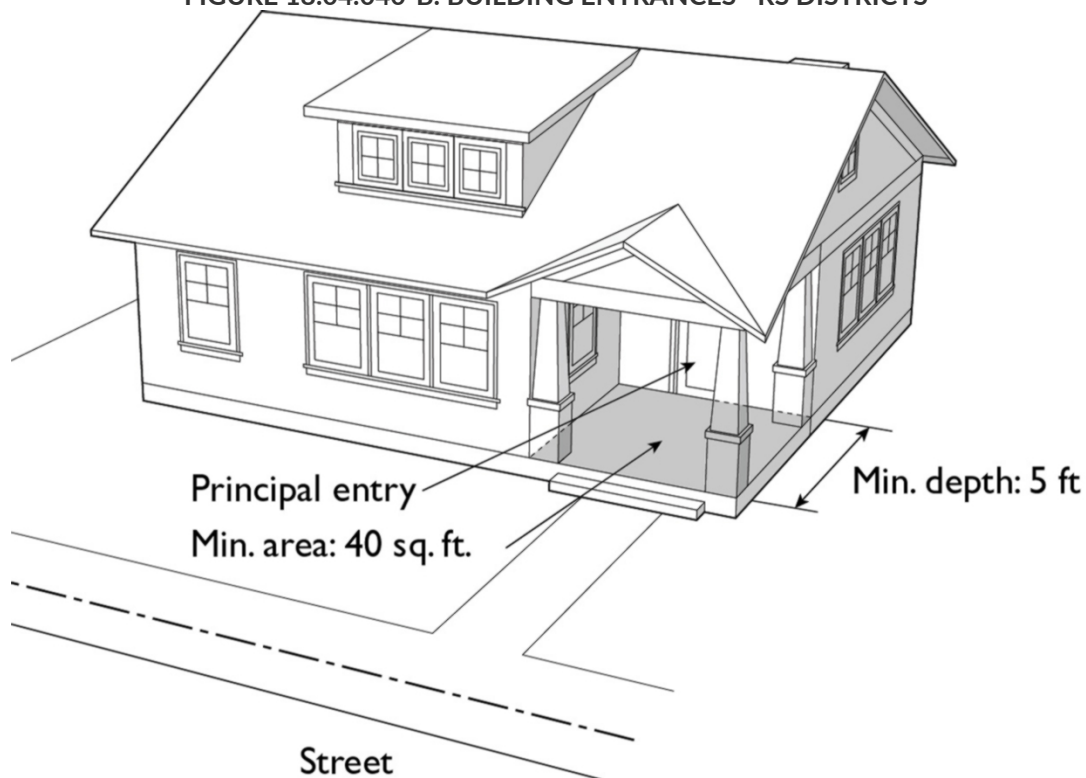
H. Detached Garages. Detached garages shall be located in the rear half of the lot. The Director may approve a detached garage in the front half of the lot subject to the front setback requirements of the base district where the size, shape, topography, location, surroundings, or existing structures of the property make it infeasible to locate the garage in the rear half of the lot. (Ord. 1566 (Exh. B (part)), 2020; Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

18.04.040 Supplemental regulations—RS districts.

A. Design of Building Additions. Roof lines, exterior materials, windows, railings, porches, and other design elements shall be designed in a manner which is compatible with the design elements of the existing buildings and surrounding neighborhood.

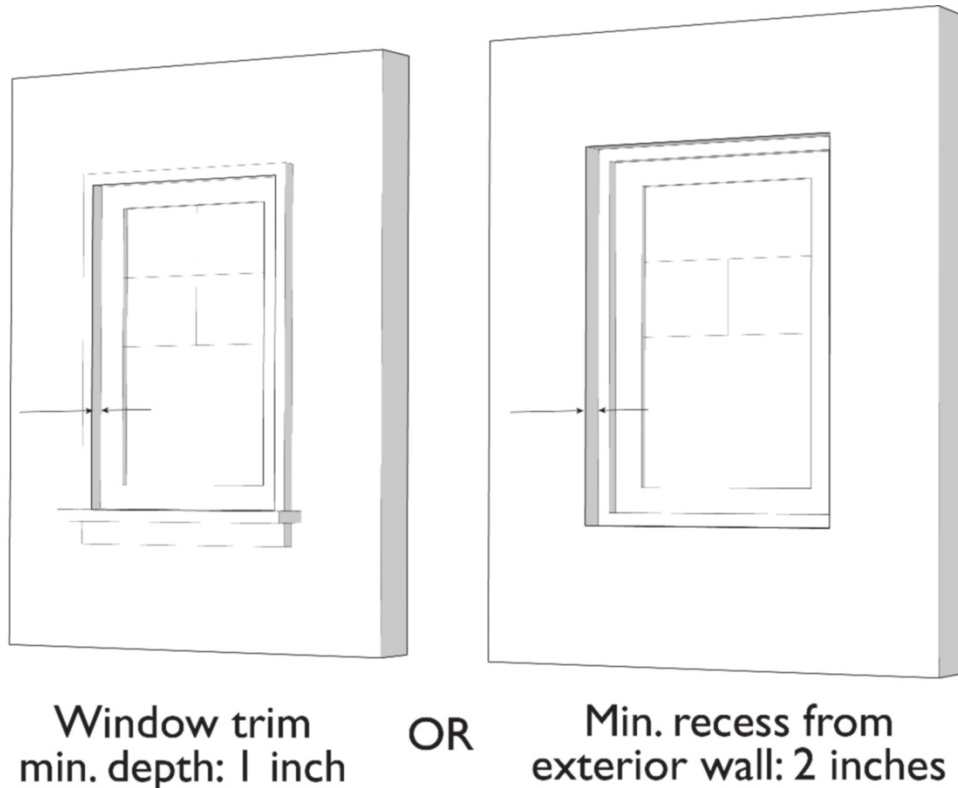
B. Building Entrances. The principal entry shall be located in a visible location facing the street and shall incorporate a projection (e.g., porch) or recess, or combination of projection and recess at least forty square feet in area, with a minimum depth of five feet. Alternative designs that create a welcoming entry feature facing the street, such as a trellis or landscaped courtyard entry, may be approved through the design review process.

FIGURE 18.04.040-B: BUILDING ENTRANCES—RS DISTRICTS



C. Window Trim or Recess. Trim at least one inch in depth must be provided around all windows, or window must be recessed at least two inches from the plane of the surrounding exterior wall. For double-hung and horizontal sliding windows, at least one sash shall achieve a two-inch recess. Exceptions may be granted through the design review process to accommodate alternative window design complementary to the architectural style of the structure.

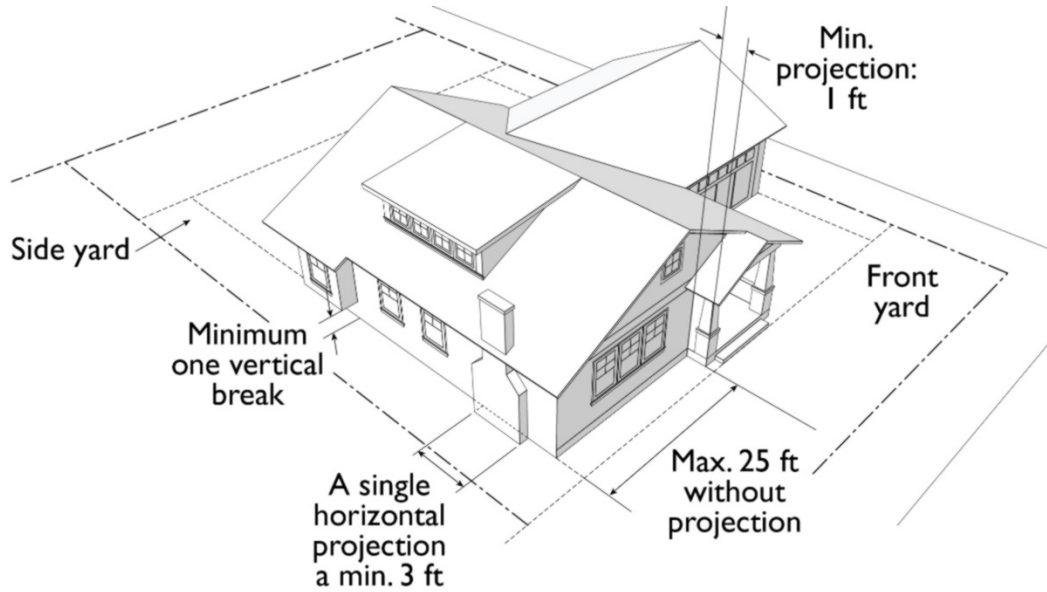
FIGURE 18.04.040-C: WINDOW TRIM OR RECESS—RS DISTRICTS



D. Architectural Articulation. Buildings shall include adequate design features to create visual variety and avoid a large-scale and bulky appearance.

1. No street-facing facade shall run in a continuous plane of more than twenty-five feet without a window or a projection, offset, or recess of the building wall at least one foot in depth. Building entrances and front porches, and projections into required yards such as stoops, bays, overhangs, fireplaces, and trellises count towards this requirement.
2. Building elevations abutting side yards shall be designed to provide at least one horizontal plane break of at least three feet, and one vertical break. Alternative designs to accommodate a complete architectural style may be approved through the design review process when the review authority finds that adequate design features have been incorporated to create visual variety and avoid a bulky or monolithic appearance.

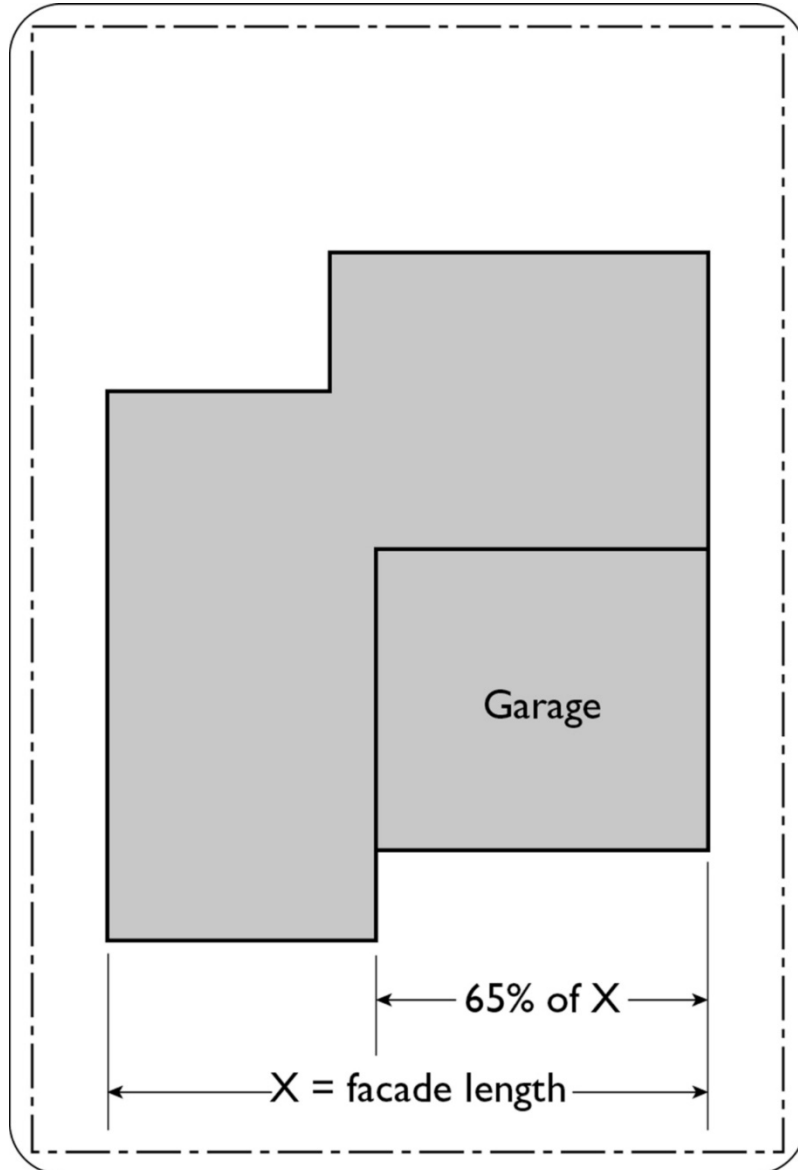
FIGURE 18.04.040-D: ARCHITECTURAL ARTICULATION—RS DISTRICTS



E. Materials. All materials shall be high quality to allow for long-term durability and appearance. The exterior use of foam as trim and plywood or aluminum as siding materials is prohibited.

F. Garage Frontage. Where an attached garage is located on the front half of the lot and garage doors face a street, garage width shall not exceed sixty-five percent of the width of the front facade of the building (sixty percent on lots wider than one hundred feet).

FIGURE 18.04.040-F: GARAGE FRONTAGE—RS DISTRICTS



- G. Paving. The maximum amount of paving in street-facing yards is fifty percent of the required yard.
- H. Driveways. Curb cuts and driveways shall be minimized.
 - 1. Driveway approaches (curb cuts) shall be permitted only to provide access to approved garages, carports and parking spaces.
 - 2. A maximum of one driveway up to twenty feet wide is permitted to serve a single unit. Driveways serving two or more units shall be the minimum width required by the City Engineer.
 - 3. All driveways must have minimum two-foot-wide planted area on each side.

- I. Alley Access. A detached garage or carport is permitted to have access to the alley if:
1. The garage or carport entrance is set back a minimum of four feet from the rear property line;
 2. A forty-five-degree visibility triangle is provided on either side of the garage or carport;
 3. The garage door does not cross the property line when opened or closed; and
 4. The Director finds that such access will not adversely affect vehicle or pedestrian use of the street or alley.

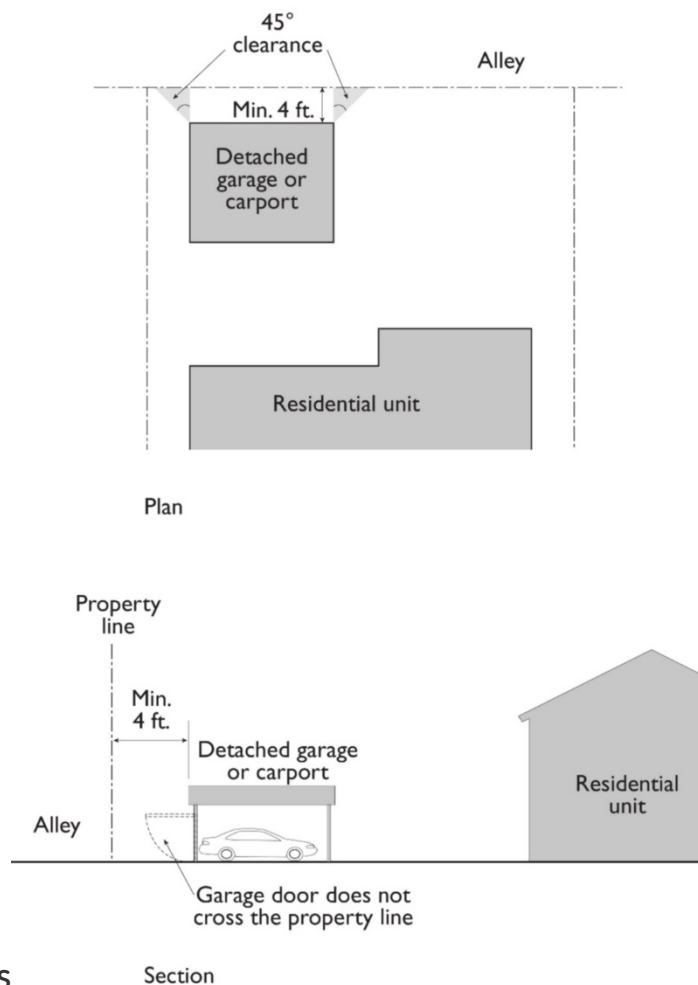


FIGURE 18.04.040-I: ALLEY ACCESS

J. Small Lot Subdivisions.

1. Purpose. The purpose of this subsection is to provide opportunities to increase the supply of smaller dwelling units and rental housing units by allowing the creation of subdivisions with smaller lots and dwellings. It also is intended to establish design and development standards for these

projects to ensure that they are compatible with the surrounding neighborhood, where the General Plan anticipates no change to existing neighborhood character.

2. Location. A small lot subdivision may be proposed and approved on any site within the RS district where such development would be compatible with adjacent uses and the character of the area. A small lot subdivision shall not be allowed where the review authority determines that public utilities and services are inadequate or the landform is inappropriate for such development because of grading or impacts on views from adjacent lots.

3. Development Types. Small lot subdivisions may be proposed and approved for small lot single-unit, bungalow court, and townhouse development developed according to Section [18.04.070](#), Residential development types.

4. Lot Standards. The lot standards listed in Table 18.04.040-J, Small Lot Subdivision Lot Standards, apply to small lot subdivisions.

TABLE 18.04.040-J: SMALL LOT SUBDIVISION LOT STANDARDS

Standard	Small Lot	Bungalow Court	Townhouse
Minimum Lot Size (sq. ft.)	2,000	2,000	n/a
Minimum Lot Width (ft.)	30	30	20

5. Permit Requirement. A proposed small lot subdivision shall require the approval of a conditional use permit in compliance with Chapter [18.30](#), Use Permits, and a tentative map in compliance with the Subdivision Ordinance.

6. Required Findings. In addition to standard use permit findings, the review authority must find that the development is compatible with the neighborhood and that dwellings are proportionate to the lot size. (Ord. 1537 (Exh. B (part)), 2018: Ord. 1438 § 4 (Exh. A (part)), 2011)

18.04.050 Development standards—RM districts.

Tables 18.04.050-1 and 18.04.050-2 prescribe the development standards for RM districts. Additional regulations are denoted in a right hand column. Section numbers in this column refer to other sections of this title, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below refer to corresponding regulations in the “#” column in the associated table.

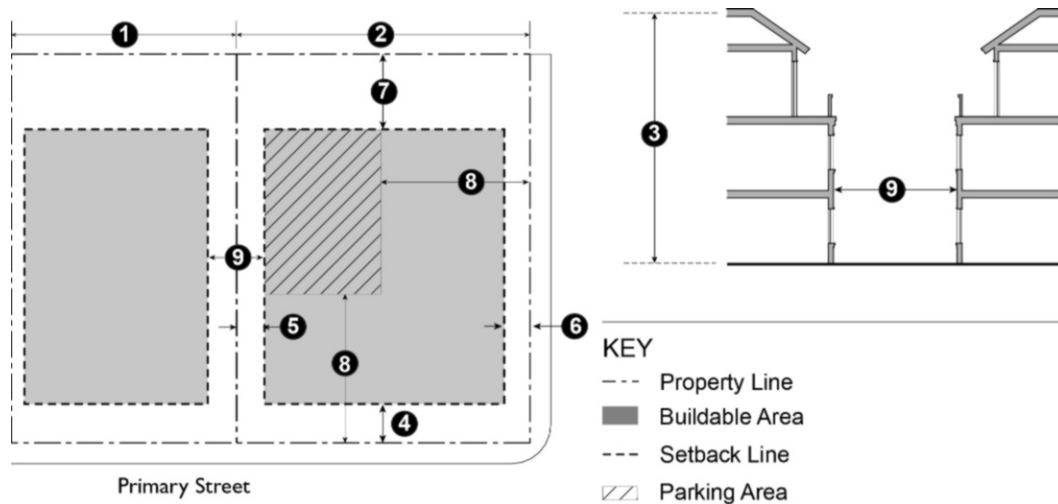


TABLE 18.04.050-1: DEVELOPMENT STANDARDS-RESIDENTIAL MULTIFAMILY DISTRICTS

District	RM-20	RM-59	<u>RM-100</u>	Additional Regulations	#
Lot and Density Standards					
Maximum Density (units/net acre)	20	59	<u>100</u>		1
<u>Minimum Density (units/net acre)</u> ¹	<u>15</u>	<u>45</u>	<u>75</u>		
Minimum Lot Size (sq. ft)	6,000	10,000	<u>10,000</u>		2
Minimum Lot Width (ft.)	60	100	<u>100</u>		3
Corner Lots	70	100	<u>100</u>		
Building Form and Location					

Maximum Height (ft.)	35	50(A)	<u>60 (A)</u>	See Section 18.15.060 Height and height exceptions	
Maximum Stories	3	4 (B)	<u>5(B)</u>		
Minimum Setbacks (ft.)					
Front	15(C)		<u>15(C)</u>		4
Interior Side	First two stories; 5, 10; thereafter (A)			See Section 18.15.080, Projections into required yards	5
Street Side	10 (D)	10(D)	<u>10(D)</u>		6
Rear	15	15(A)	<u>15(A)</u>		7
Parking, from Street-Facing Property Line	40 (E)	40 (E)	<u>40 (E)</u>		8
Maximum Lot Coverage (Percent of Lot)	65	75	<u>75</u>	See Chapter 18.03, Rules of Measurement	
Maximum Floor Area Ratio (FAR)	0.75	2.0	<u>3.0</u>		
Maximum Upper story Massing (Percent of Ground Floor Footprint)					
2 nd Story	100	100	<u>100</u>	Not applicable on lots less than 60 feet wide	
3 rd , 4 th and 5 th Stories ^y Above	80	80	<u>80</u>		
(1) Minimum Density requirement is triggered for new development projects only, not for minor additions or improvements.					

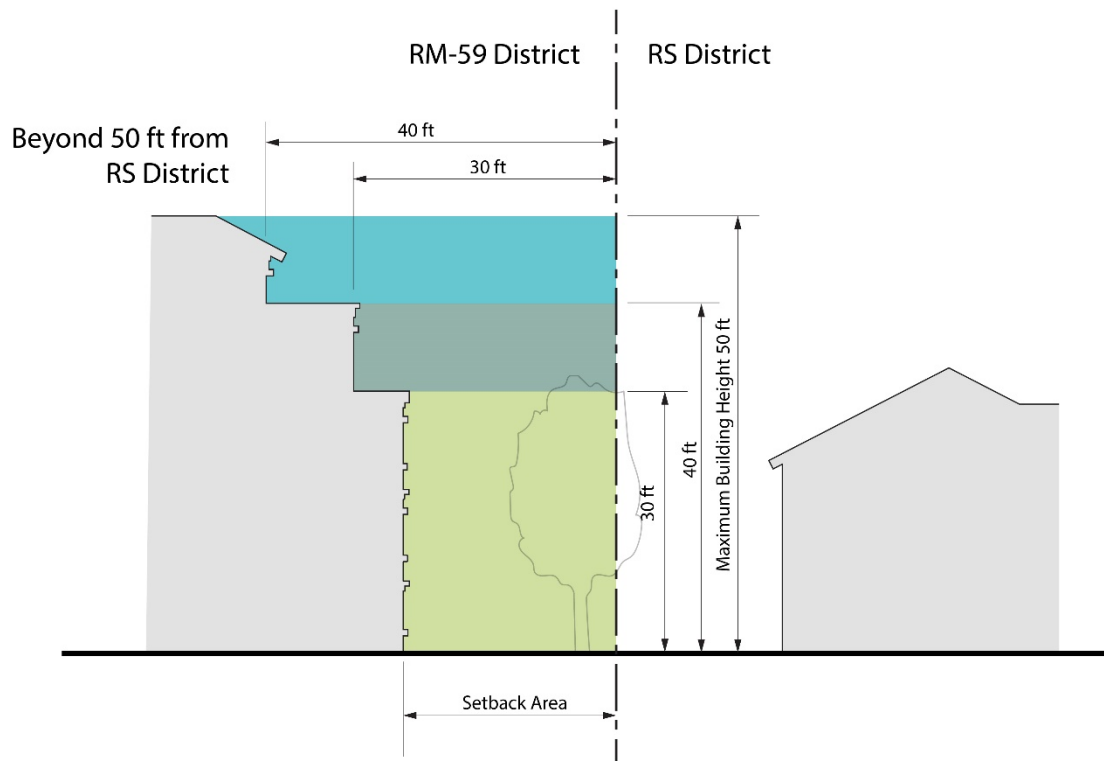
TABLE 18.04.050-2: ADDITIONAL STANDARDS-RESIDENTIAL MULTIFAMILY DISTRICTS

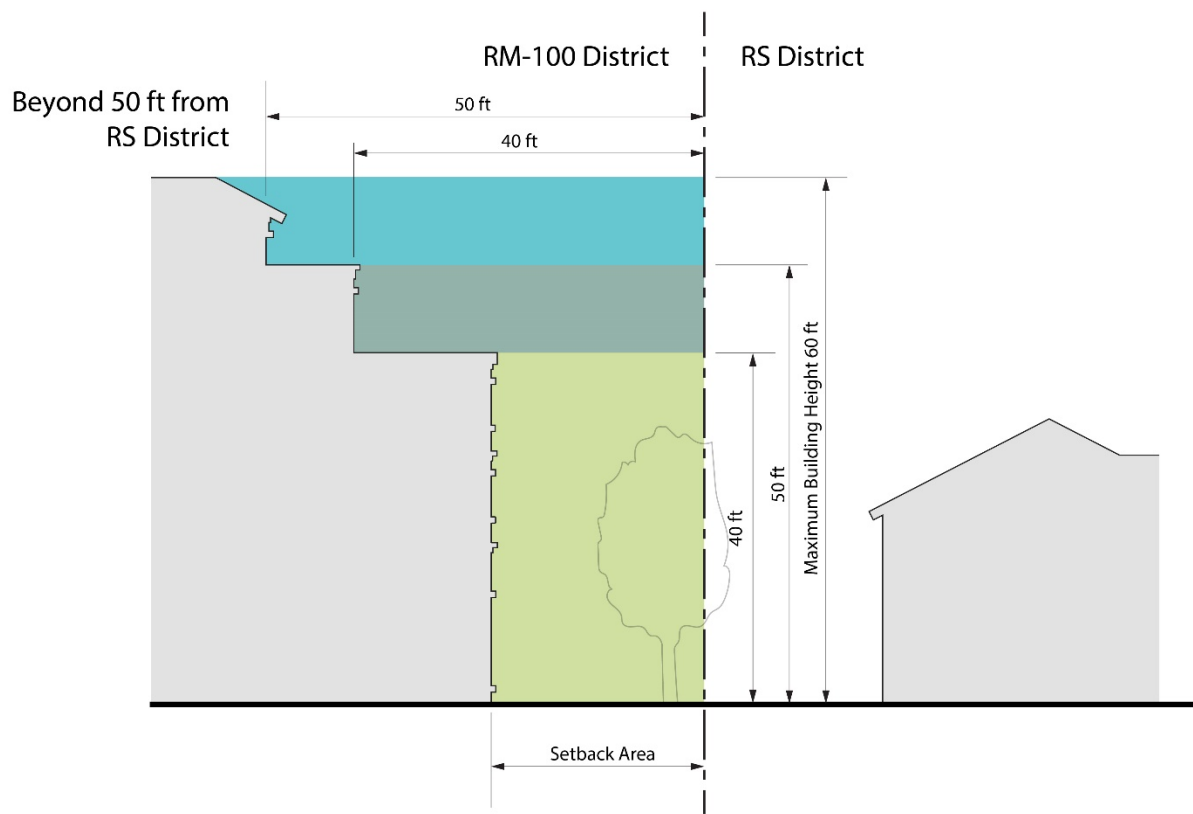
District	RM-20	RM-59	<u>RM-100</u>	Additional Regulations
Minimum Private Open Space (sq.ft. per unit)	150	0	0	(F)
Minimum Common <u>and/or Private</u> Open Space (percent of site area)	15	15	<u>10</u>	(F)
Minimum Amount of Landscaping (percent of site)	20	15	<u>10</u>	See Chapter 18.18 Landscaping
Maximum Paving in Street-Facing Yards (percent of required yard)	50	50	<u>50</u>	

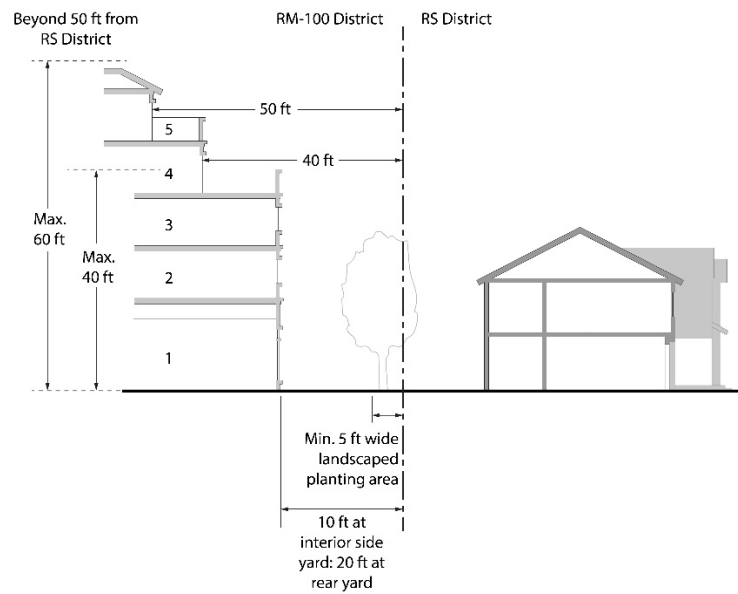
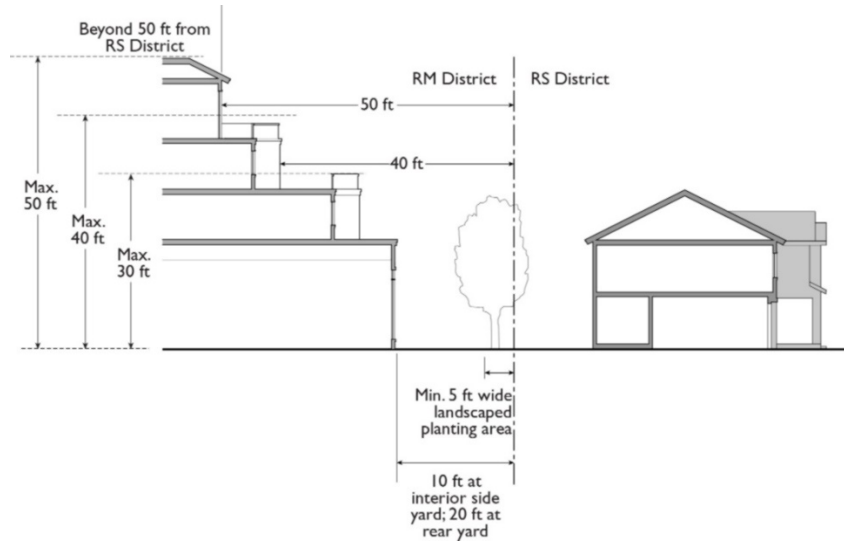
A. Transitional Standards. Where an RM-59 and RM-100 district ~~adjoins~~ is adjacent to an RS district, the following standards apply:

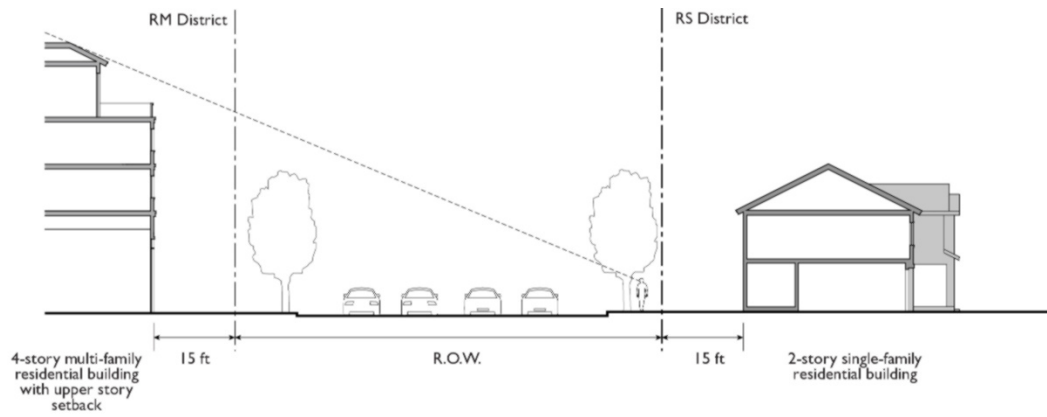
1. For the RM-100 zoning district, the maximum height within forty feet of an RS district is forty feet. The maximum height within fifty feet of an RS district is fifty feet.
2. For the RM-59 zoning district, the maximum height within forty feet of an RS district is thirty feet. The maximum height within fifty feet of an RS district is forty feet.
3. The building setback from an RS district boundary shall be ten feet for interior side yards and twenty feet for rear yards.
4. A landscaped planting area, a minimum of five feet in width, shall be provided along all RS district boundaries. A tree screen shall be planted in this area with trees planted at a minimum interval of fifteen feet.

FIGURE 18.04.050-A: TRANSITIONAL STANDARDS—RM DISTRICTS



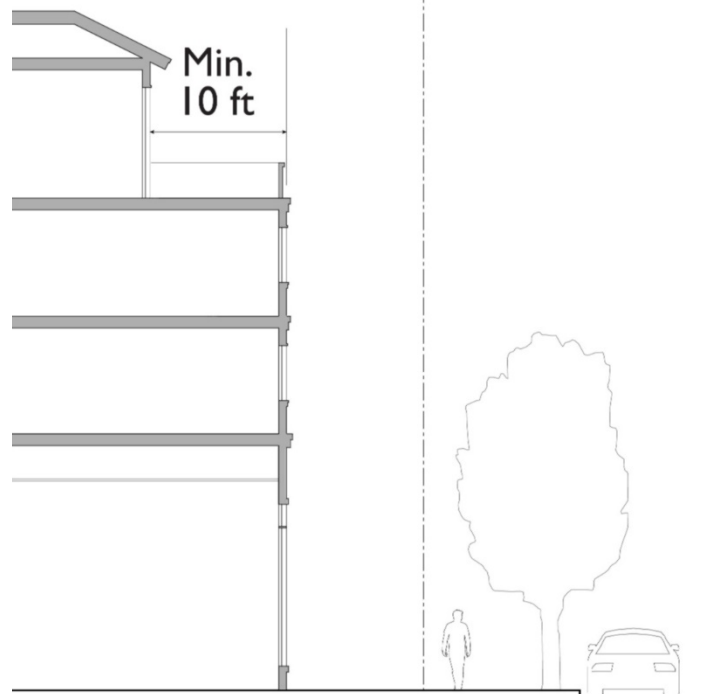


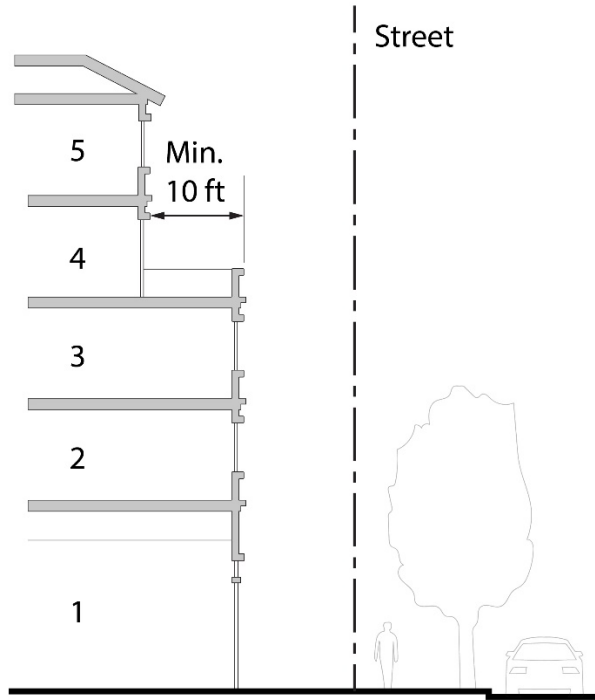




B. Upper Story Stepback. The fourth **and fifth** story street-facing building frontages shall be stepped back a minimum of ten feet from the stories below. Exceptions may be granted by the Director; provided, that an entry courtyard with a minimum depth of twenty-five feet, landscaping, and seating amenities are provided on the ground level at grade; or other comparable public amenities are provided.

FIGURE 18.04.050-B: UPPER STORY SETBACK
RM District Street

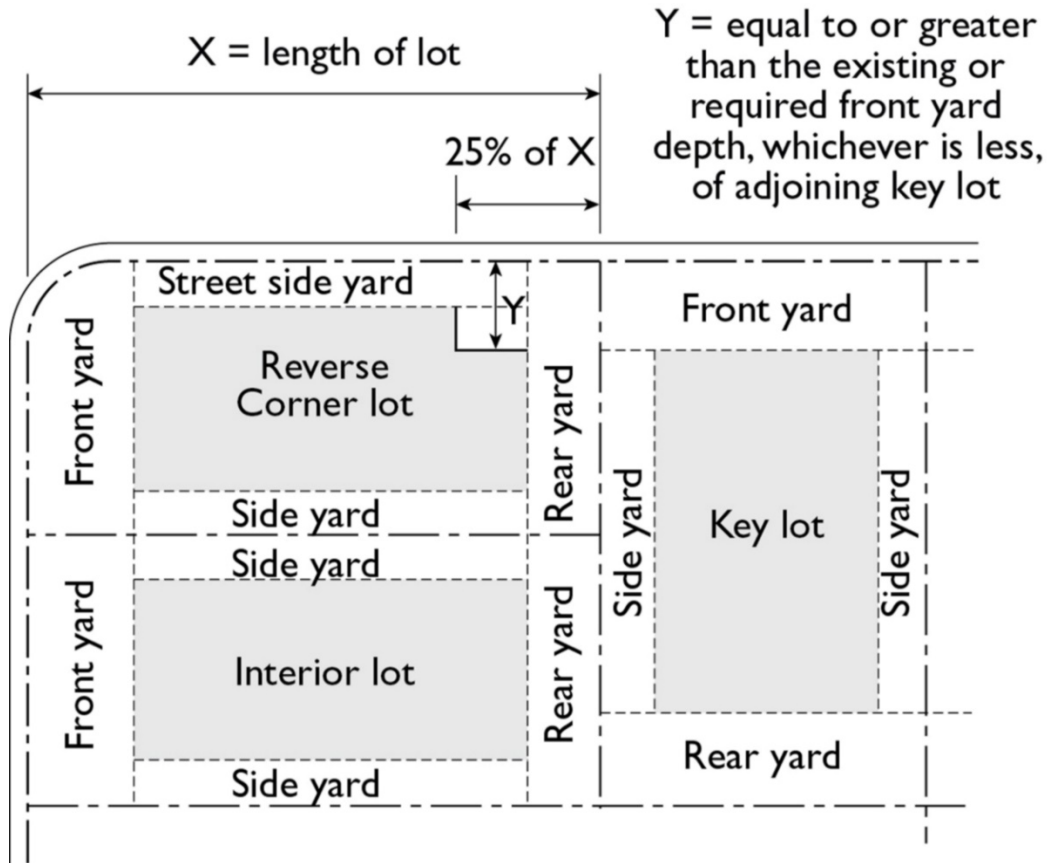




C. Front Setback. Where seventy-five percent or more of the lots in a block, on both sides of the street, have been improved with buildings, the minimum front setback required shall be the average of improved lots or fifteen feet, whichever is less.

D. Street Side Yards on Lots with Reversed Frontage. The rear one-quarter of the exterior side yard shall not be less than the front yard required or existing on the lot adjoining such exterior side yard.

FIGURE 18.04.050-D: STREET SIDE YARDS ON LOTS WITH REVERSED FRONTAGE—RM DISTRICTS



E. Parking Setback. Parking may be located within forty feet of the street-facing property line in accordance with the following standards:

1. Underground and Partially Submerged Parking. Parking completely or partially underground may match the setbacks of the main structure. The maximum height of a parking podium visible from a street is five feet from finished grade.
2. Surface Parking. Above-ground parking may be located within forty feet of a street-facing property line with the approval of a conditional use permit when all of the following findings can be made:
 - a. The design incorporates habitable space built close to the public sidewalk to the maximum extent feasible;
 - b. The parking area is well screened with a wall, hedge, trellis, and/or landscaping; and
 - c. The site is small and constrained such that underground, partially submerged, or surface parking located more than forty feet from the street frontage is not feasible.

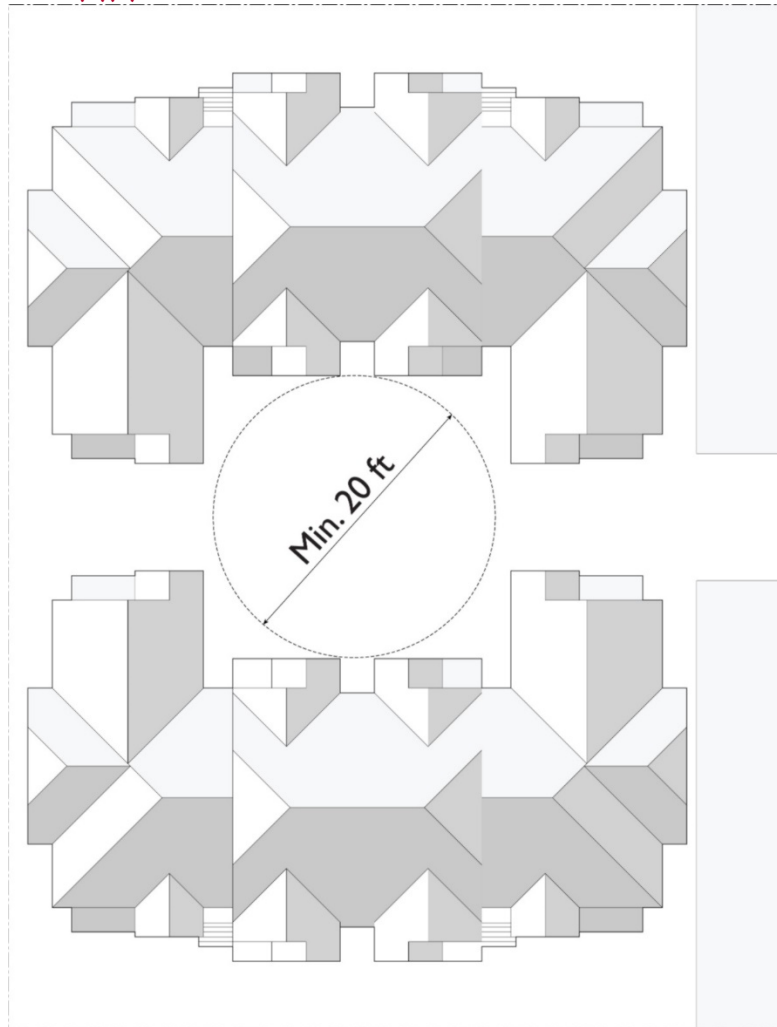
F. Open Space. Private and Common areas shall be provided in accordance with this section. Private areas typically consist of balconies, decks, patios, fenced yards, and other similar areas outside the residence. Common areas typically consist of landscaped areas, walks, patios, swimming pools, barbecue areas, playgrounds, turf, or other such improvements as are appropriate to enhance the outdoor environment of the development. Landscaped courtyard entries that are oriented towards the public street which create a welcoming entry feature are also considered common areas. All areas not improved with buildings, parking, vehicular accessways, trash enclosures, and similar items shall be developed as common areas with the types of attributes described above.

~~1. Minimum Dimensions~~

~~a. Private Open Space. Private open space located on the ground level (e.g., yards, decks, patios) shall have no dimension less than ten feet. Private open space located above ground level (e.g., balconies) shall have no horizontal dimension less than six feet.~~

~~a. Common Open Space. Common open space located on the ground level shall have no dimension less than fifteen by twenty feet.~~

FIGURE 18.04.050-F(1)(b): COMMON OPEN SPACE MINIMUM DIMENSIONS—RM DISTRICTS



21. Usability. A surface shall be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practicable combination of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust-free surfacing. The slope shall not exceed ten percent.

32. Accessibility.

a. Private Open Space. The space shall be accessible to only one living unit by a doorway or doorways to a habitable room or hallway.

a. Common Open Space. The space shall be accessible to the living units on the lot. It shall be served by any stairway or other accessway qualifying as an egress facility from a habitable room. (Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

18.04.060 Supplemental regulations—RM districts.

A. Building Entrances.

1. **Orientation.** All units located along public rights-of-way must have the primary entrance facing this right-of-way. Exceptions to this requirement may be approved for projects where multiple-family housing is located on four-lane streets carrying high traffic volumes and/or streets that do not allow on-street parking. In such cases, the project may be oriented around courtyards.
2. **Projection or Recess.** Building entrances must have a roofed projection (such as a porch) or recess with a minimum depth of at least five feet and a minimum horizontal area of fifty square feet. Alternative designs that create a welcoming entry feature facing the street, such as trellis or landscaped courtyard entry, may be approved by the Director.
3. **Dwelling Unit Access.** Exterior entrances to units shall be in a form of individual or shared entrances at the ground floor of the building. Unit entrances above the ground floor are also permitted; however, no exterior access corridor located above the ground floor may provide access to five or more units.

B. Building Design. Buildings shall include adequate design features to create visual variety and avoid a large-scale and bulky appearance.

1. **Building Length.** The maximum dimension of any single building shall not exceed one hundred twenty-five feet.
2. **Roof Line.** The roof line at each elevation shall demonstrate an offset of at least eighteen inches for each one to three units exposed on that elevation. Large, continuous roof planes are prohibited.
3. **Window Trim or Recess.** Trim at least one inch in depth must be provided around all windows, or window must be recessed at least two inches from the plane of the surrounding exterior wall. For double-hung and horizontal sliding windows, at least one sash shall achieve a two-inch recess. Exceptions may be granted through the design review process to accommodate alternative window design complementary to the architectural style of the structure.
4. **Windows.** Snap-in vinyl mullions between double pane glass are prohibited. If a divided light appearance is desired, mullions must be made of dimensional material projecting in front of the panes on both the inside and outside of the window.
5. **Facade Articulation.** All street-facing facades shall have at least one horizontal or vertical projection or recess at least four feet in depth, or two projections or recesses at least two and one-

half feet in depth, for every twenty-five horizontal feet of wall. If located on a building with two or more stories, the articulated elements must be greater than one story in height, and may be grouped rather than evenly spaced in twenty-five-foot modules. Building entrances and front porches and projections into required yards such as stoops, bays, overhangs, fireplaces, and trellises may count towards meeting this requirement.

6. Facade Detailing and Materials. All visible building facades shall incorporate details, such as window and door trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way shall be designed with a complementary level of detailing and quality of materials.

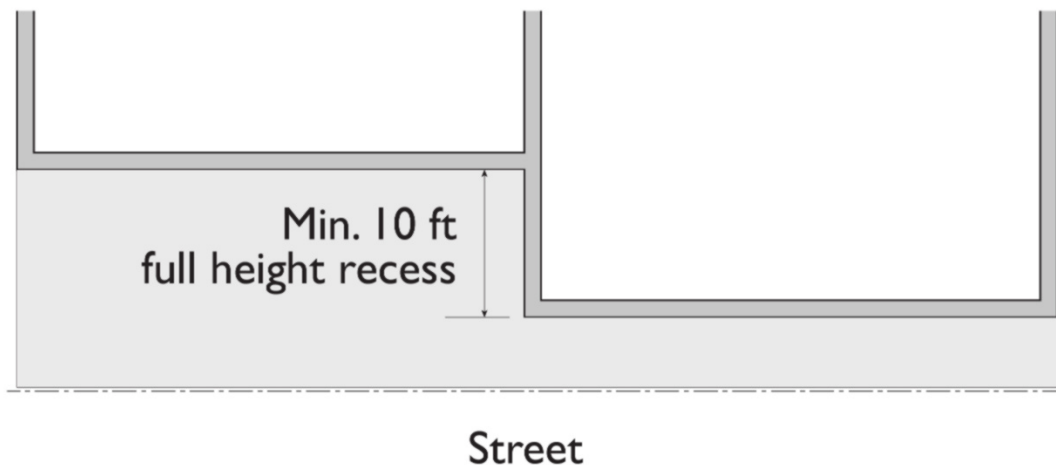
7. Building Colors. Every building shall have at least two complementary colors which demonstrate a harmonious relationship.

8. Building Materials. All materials shall be high quality to allow for long-term durability and appearance. The exterior use of foam for trim and plywood, vinyl or aluminum as siding materials is prohibited.

9. Transition Areas. Where new multifamily developments are built adjacent to existing lower-scaled residential development, the facade facing the existing lower-scaled residential development shall be designed to provide architectural relief and interest, while also respecting the scale of adjacent neighbors.

- a. Height. Full-height recesses, a minimum of ten feet deep, shall be provided along the facade to break the building into smaller discrete masses.

FIGURE 18.04.060-B(8)(a): MINIMUM RECESS



b. Window and Balcony Placement. Offset windows to avoid direct sight lines into and from neighboring properties. Position balconies and other private open space so they minimize views into neighboring properties.

10. Exceptions. Exceptions to the building design standards may be granted with approval of a conditional use permit based on the finding that adequate design features have been incorporated to create visual variety and avoid a large-scale, bulky, or monolithic appearance.

C. Private Storage Space. Each unit shall have at least two hundred cubic feet of enclosed, weather-proofed, and lockable private storage space with a minimum horizontal dimension of four feet.

D. Paving. Differentiated paving materials shall be used for garage aprons, entries, and pedestrian walkways. This may include, but not be limited to, textures or colors, concrete pavers, brick, or stamped concrete. The use of permeable materials to reduce runoff is strongly encouraged.

E. Pedestrian Access. On-site pedestrian circulation and access must be provided according to the following standards:

1. Internal Connections. A system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site open space areas or pedestrian amenities.

2. To Circulation Network. Regular connections between on-site walkways and the public sidewalk and other planned or existing pedestrian routes, such as safe routes to school, shall be provided. An on-site walkway shall connect the primary building entry or entries to a public sidewalk on each street frontage.

3. To Neighbors. Direct and convenient access shall be provided to adjoining residential and commercial areas to the maximum extent feasible while still providing for safety and security.

4. To Transit. Safe and convenient pedestrian connections shall be provided from transit stops to building entrances.

5. Pedestrian Walkway Design.

a. Walkways shall be a minimum of six feet wide, shall be hard-surfaced, and paved with concrete, stone, tile, brick, or comparable material.

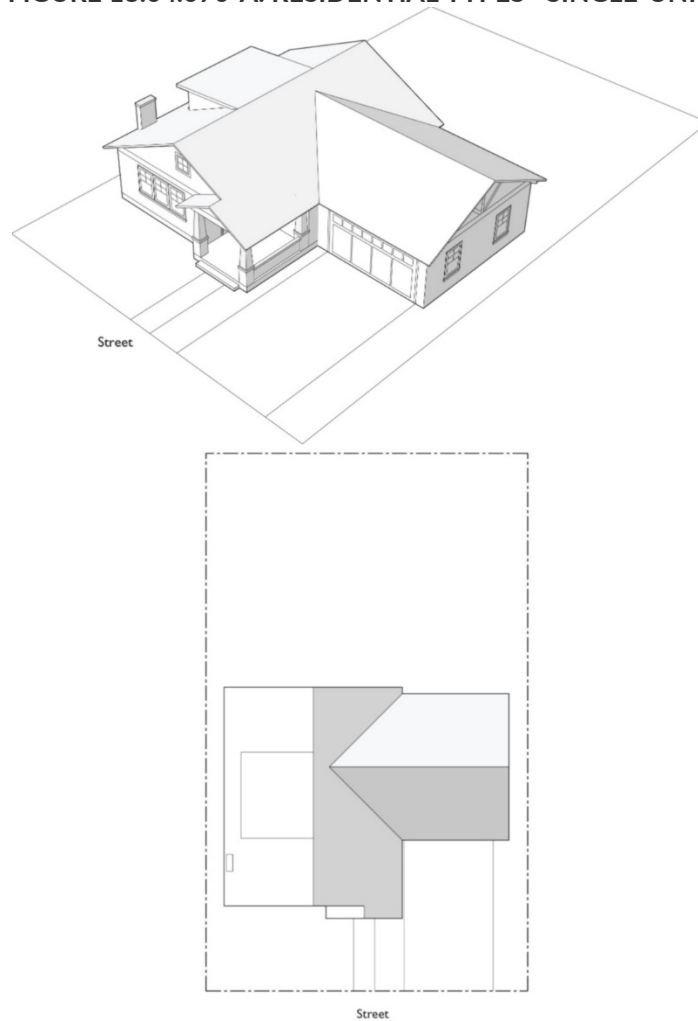
- b. Where a required walkway crosses driveways, parking areas, or loading areas, it must be clearly identifiable through the use of a raised crosswalk, a different paving material, or similar method.
- c. Where a required walkway is parallel and adjacent to an auto travel lane, it must be raised or separated from the auto travel lane by a raised curb at least four inches high, bollards, or other physical barrier. (Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)* Code reviser's note: Ord. 1480 added subsection (B)(3a) of this section as subsection (B)(3). It has been editorially renumbered to avoid duplication.

18.04.070 Residential development types. Revised 11/20

This section prescribes development and supplemental standards specific to each development type allowed within the residential districts.

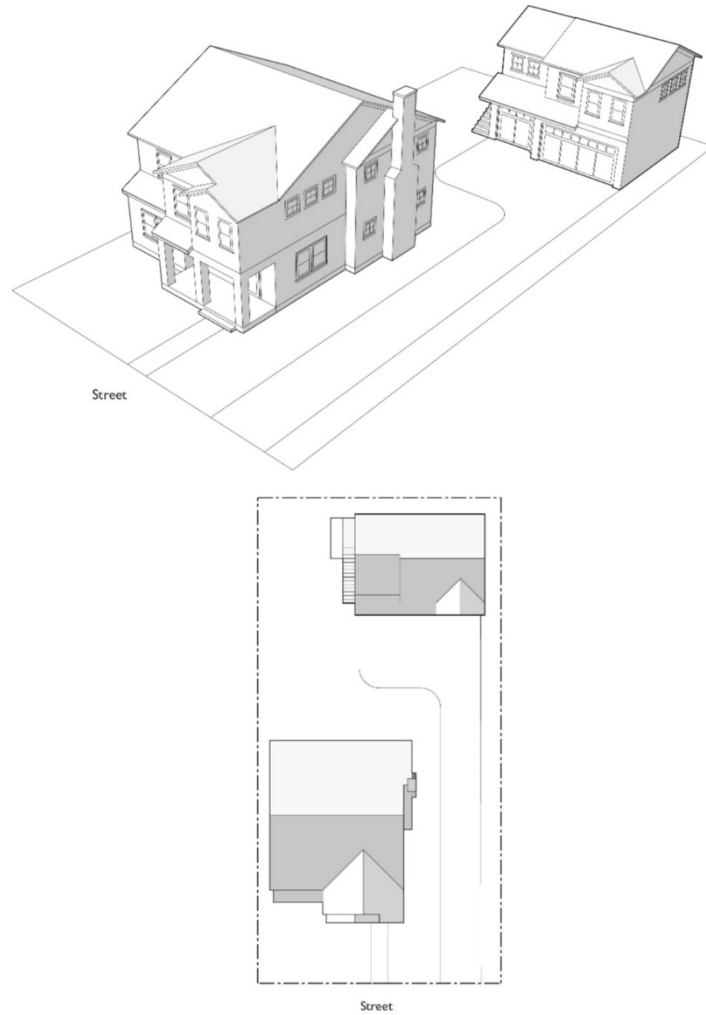
A. Single-Unit Dwellings and Duplexes. Single-unit dwellings and duplexes are subject to the development standards and supplemental regulations of the RS district, Sections [18.04.030](#), Development standards—RS districts, and 18.04.040, Supplemental regulations—RS districts. The figures in this subsection illustrate RS district development standards and what resulting single-unit development might look like.

FIGURE 18.04.070-A: RESIDENTIAL TYPES—SINGLE-UNIT



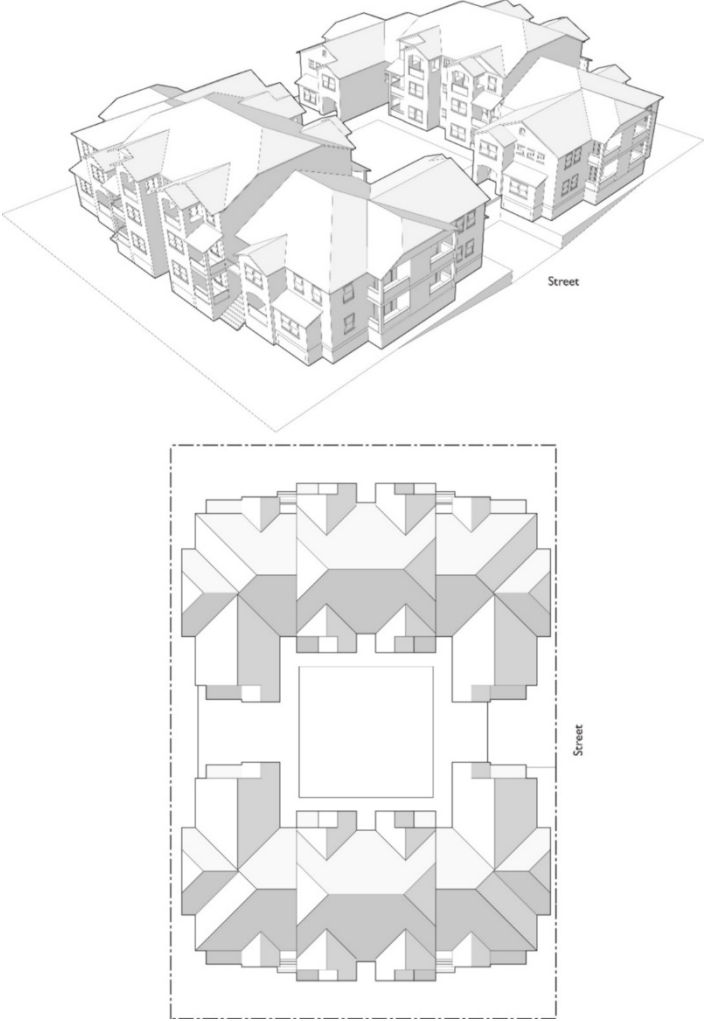
B. Accessory Dwelling Units. Accessory dwelling units are subject to the development standards and supplemental regulations of the RS district, Sections [18.04.030](#), Development standards—RS districts, 18.04.040, Supplemental regulations—RS districts, and 18.23.210, Accessory dwelling units/junior accessory dwelling units. The figures in this subsection illustrate accessory dwelling unit development standards and what resulting accessory dwelling unit development might look like.

FIGURE 18.04.070-B: RESIDENTIAL TYPES—ACCESSORY DWELLING UNITS



C. Multi-Unit Residential. Multi-unit residential development is subject to the development standards and supplemental regulations of the RM district, Sections [18.04.050](#), Development standards—RM districts, and 18.04.060, Supplemental regulations—RM districts. The figures in this subsection illustrate RM district development standards and what resulting development might look like.

FIGURE 18.04.070-C: RESIDENTIAL TYPES—MULTI-UNIT RESIDENTIAL



D. Small Lot Single-Unit Development. Small lot single-unit development is subject to the development standards and supplemental regulations of the base district unless modified by Table 18.04.070-D. The figures in this subsection illustrate small lot single-unit development standards and what resulting development might look like.

TABLE 18.04.070-D: DEVELOPMENT STANDARDS—SMALL LOT SINGLE-UNIT DEVELOPMENT

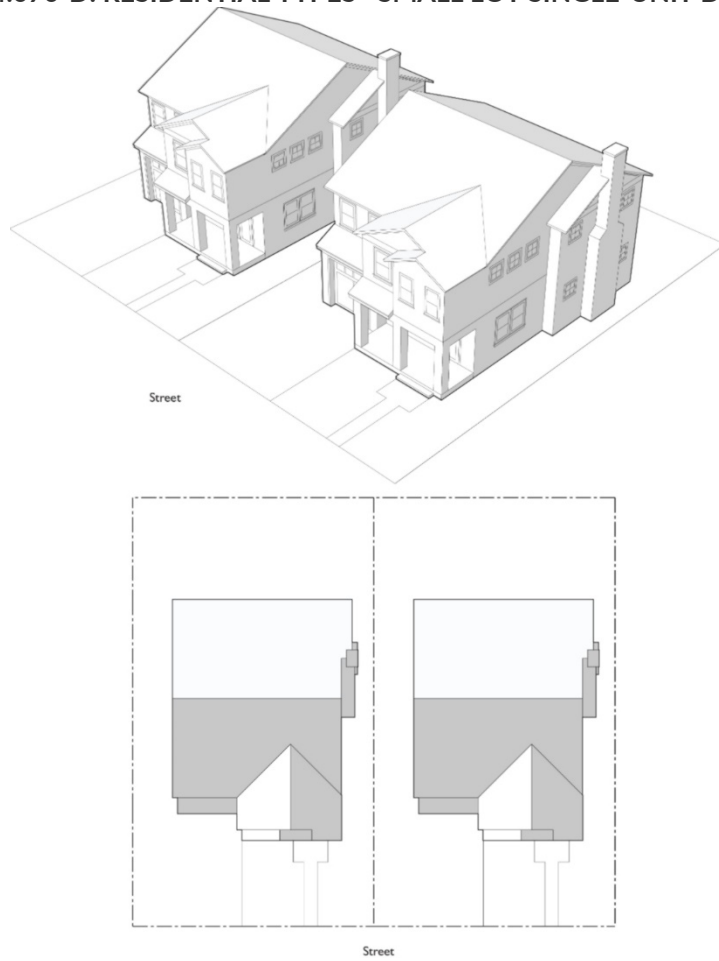
TABLE 18.04.070-D: DEVELOPMENT STANDARDS—SMALL LOT SINGLE-UNIT DEVELOPMENT

Standard	Small Lot Single-Unit
Site Standards	
Minimum Project Site Width (ft.)	80
Maximum Project Site Floor Area Ratio (FAR)	.45
Maximum Project Site Lot Coverage (percent of site)	35
Building Height and Form	
Maximum Number of Stories	3
Maximum Building Length (ft.)	n/a
Setbacks	
Project Site	The overall project site is subject to the setback requirements of the base district.
Individual Lot (ft.)	
Front	10; 7 for porch
Side	1-story portion: 4; 2-story portion: 8
Rear	15; 0 for detached garage on alley
Building Separation of Detached Units (ft.)	5
Parking and Access	
Minimum Garage Setback from Primary Facade (ft.)	5
Maximum Garage Width (ft.)	25; common garages not visible from the street may accommodate up to four cars.
Access Location	Alley or side street wherever possible.

TABLE 18.04.070-D: DEVELOPMENT STANDARDS—SMALL LOT SINGLE-UNIT DEVELOPMENT

Standard	Small Lot Single-Unit
Building Orientation	
Orientation	Facades shall be designed to orient towards the public street and a common courtyard, if provided.
Entrance Location	The main entrance to each ground floor dwelling shall be visible to and located directly off a common courtyard or directly from the street.
Usable Open Space	
Minimum Private Open Space (sq. ft. per unit)	300
Minimum Common Open Space (sq. ft. per unit)	200
Minimum Horizontal Dimensions	
Ground floor, common (ft.)	20
Ground floor, private (ft.)	10
Balcony (ft.)	7
Additional Standards	
Minimum Amount of Landscaping (percent of site)	35
Minimum Amount of Enclosed Personal Storage (sq. ft.)	80

FIGURE 18.04.070-D: RESIDENTIAL TYPES—SMALL LOT SINGLE-UNIT DEVELOPMENT



E. Bungalow Court Development. Bungalow court development is subject to the development standards and supplemental regulations of the base district unless modified by Table 18.04.070-E. The figures in this subsection illustrate bungalow court development standards and what resulting development might look like.

TABLE 18.04.070-E: DEVELOPMENT STANDARDS—BUNGALOW COURT DEVELOPMENT

Standard	Bungalow Court
Site Standards	
Minimum Project Site Width (ft.)	100
Maximum Project Site Floor Area Ratio (FAR)	.45

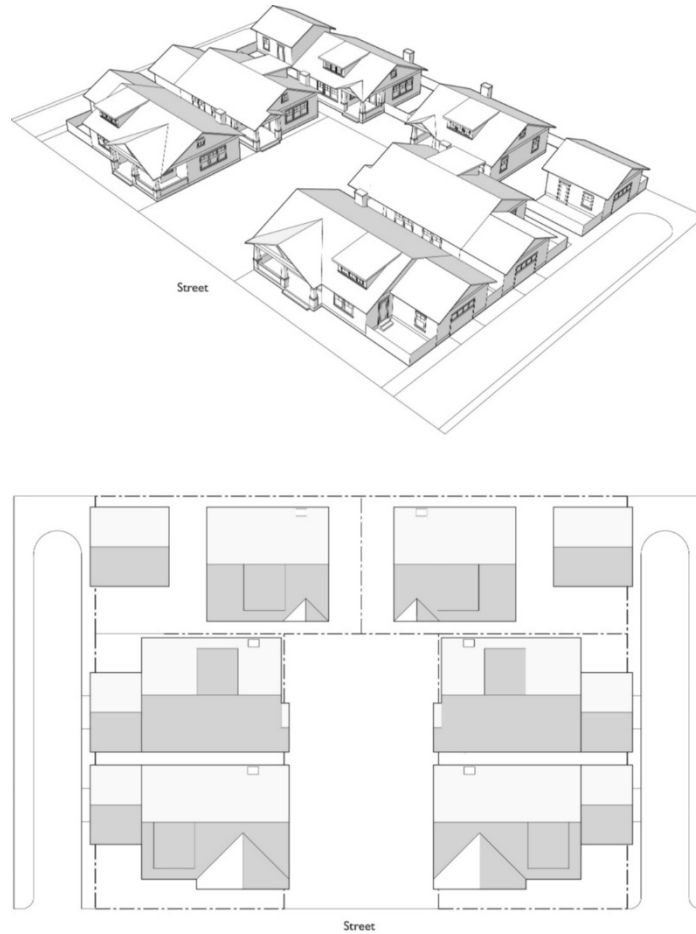
TABLE 18.04.070-E: DEVELOPMENT STANDARDS—BUNGALOW COURT DEVELOPMENT

Standard	Bungalow Court
Maximum Project Site Lot Coverage (percent of site)	35
Building Height and Form	
Maximum Number of Stories	2
Maximum Building Length (ft.)	n/a
Setbacks	
Project Site	The overall project site is subject to the setback requirements of the base district.
Individual Lot (ft.)	
Front	10; 7 for porch
Side	1-story portion: 4; 2-story portion: 8
Rear	15; 0 for detached garage on alley
Building Separation of Detached Units (ft.)	5
Parking and Access	
Minimum Garage Setback from Primary Facade (ft.)	5
Maximum Garage Width (ft.)	25; common garages not visible from the street may accommodate up to four cars.
Access Location	Alley or side street wherever possible.
Building Orientation	
Orientation	Facades shall be designed to orient towards the public street and a common courtyard, if provided.

TABLE 18.04.070-E: DEVELOPMENT STANDARDS—BUNGALOW COURT DEVELOPMENT

Standard	Bungalow Court
Entrance Location	The main entrance to each ground floor dwelling shall be visible to and located directly off a common courtyard or directly from the street.
Usable Open Space	
Minimum Private Open Space (sq. ft. per unit)	150
Minimum Common Open Space	15% of lot area provided as a central courtyard
Minimum Horizontal Dimensions	
Ground floor, common (ft.)	30
Ground floor, private (ft.)	10
Balcony (ft.)	7
Additional Standards	
Minimum Amount of Landscaping (percent of site)	35
Minimum Amount of Enclosed Personal Storage (sq. ft.)	80

FIGURE 18.04.070-E: RESIDENTIAL TYPES—BUNGALOW COURT



F. Townhouse Development. Townhouse development is subject to the development standards and supplemental regulations of the base district unless modified by Table 18.04.070-F. The figures in this subsection illustrate townhouse development standards and what resulting development might look like.

TABLE 18.04.070-F: DEVELOPMENT STANDARDS—TOWNHOUSE DEVELOPMENT

Standard	Townhouse
Site Standards	
Minimum Project Site Width (ft.)	80
Maximum Project Site Floor Area Ratio (FAR)	1.0

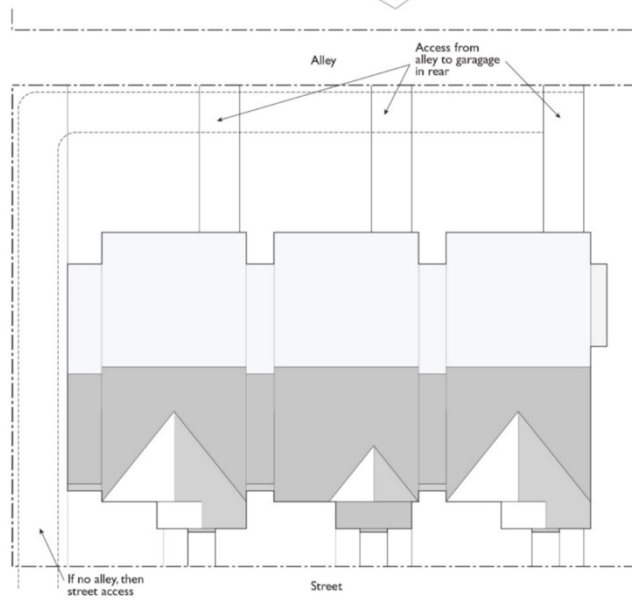
**TABLE 18.04.070-F: DEVELOPMENT STANDARDS—TOWNHOUSE
DEVELOPMENT**

Standard	Townhouse
Maximum Project Site Lot Coverage (percent of site)	35
Building Height and Form	
Maximum Number of Stories	3
Maximum Building Length (ft.)	150
Setbacks	
Project Site	The overall project site is subject to the setback requirements of the base district.
Individual Lot (ft.)	
Front	10; 7 for porch
Side (apply to the end of rows of attached units)	1-story portion: 4; 2-story portion: 8
Rear	15; 0 for detached garage on alley
Building Separation of Detached Units (ft.)	5
Parking and Access	
Minimum Garage Setback from Primary Facade (ft.)	5
Maximum Garage Width (ft.)	25; common garages not visible from the street may accommodate up to four cars.
Access Location	Alley or side street wherever possible.
Building Orientation	
Orientation	Facades shall be designed to orient towards the public street and a common courtyard, if provided.

**TABLE 18.04.070-F: DEVELOPMENT STANDARDS—TOWNHOUSE
DEVELOPMENT**

Standard	Townhouse
Entrance Location	The main entrance to each ground floor dwelling shall be visible to and located directly off a common courtyard or directly from the street.
Usable Open Space	
Minimum Private Open Space (sq. ft. per unit)	300
Minimum Common Open Space (sq. ft. per unit)	200
Minimum Horizontal Dimensions	
Ground floor, common (ft.)	20
Ground floor, private (ft.)	10
Balcony (ft.)	7
Additional Standards	
Minimum Amount of Landscaping (percent of site)	35
Minimum Amount of Enclosed Personal Storage (sq. ft.)	80

FIGURE 18.04.070-F: RESIDENTIAL TYPES—TOWNHOUSE DEVELOPMENT



(Ord. 1566 (Exh. B (part)), 2020; Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

Chapter 18.05

MIXED-USE DISTRICTS Revised 11/20 Revised 3/21

Sections:

- 18.05.010 Purpose.**
- 18.05.020 Land use regulations.** Revised 11/20 Revised 3/21
- 18.05.030 Development standards.**
- 18.05.040 Supplemental regulations.**

18.05.010 Purpose.

The specific purposes of the mixed-use districts are to:

- A. Provide for the orderly, well-planned, and balanced development of mixed-use districts.
- B. Encourage a mix of uses that promotes convenience, economic vitality, fiscal stability, and a pleasant quality of life.
- C. Promote pedestrian- and transit-oriented, mixed-use commercial centers at appropriate locations.
- D. Establish design standards that improve the visual quality of development and create a unified, distinctive, and attractive character along mixed-use streets.
- E. Provide appropriate buffers and transition standards between commercial and residential uses to preserve both commercial and mixed-use feasibility and residential quality.

Additional purposes of each mixed-use district ~~which that~~ follow, implement General Plan classifications of "Mixed Use, 30-40 du/ac"; "Mixed Use, 38-~~21~~-520 du/ac"; Mixed Use, 75-~~51~~-100 du/ac"; Mixed Use, 90-~~101~~-120 du/ac" Mixed-Use, Low Density," "Mixed-Use, Medium Density," "Mixed-Use, Medium High Density," and "Neighborhood Retail/Mixed-Use, Medium Density .

- F. MU-DC-~~100~~ Mixed-Use Downtown Core. This district is intended to maintain the pedestrian-oriented environment in the heart of San Carlos' downtown, with a focus on ground-level active storefronts and pedestrian- and transit-oriented development that encourages pedestrian activity and supports multi-modal transportation. Physical form is regulated to reflect the urban character of the downtown core. Allowable uses include retail, commercial, and office uses, as well as residential development of up to ~~fifty~~ one-hundred units per net acre.

~~G. MU-D-50 Mixed-Use Downtown. This district is intended to maintain the pedestrian-oriented environment around the downtown core and connect surrounding districts. Physical form is regulated to provide shopfront buildings that frame the street and support pedestrian- and transit-oriented development that encourages pedestrian activity and supports multi-modal transportation. Allowable uses include retail, commercial, and office uses, as well as residential development of up to fifty units per net acre.~~

G. MU-D-100 Mixed-Use Downtown. This district is intended to maintain the pedestrian-oriented environment around the downtown core and connect surrounding districts. Physical form is regulated to provide shopfront buildings that frame the street and support pedestrian- and transit-oriented development that encourages pedestrian activity and supports multi-modal transportation. Allowable uses include retail, commercial, and office uses, as well as residential development of up to one-hundred units per net acre.

H. MU-D-120 Mixed-Use Downtown. This district is intended to maintain the pedestrian-oriented environment around the downtown core and connect surrounding districts. Physical form is regulated to provide shopfront buildings that frame the street and support pedestrian- and transit-oriented development that encourages pedestrian activity and supports multi-modal transportation. Allowable uses include retail, commercial, and office uses, as well as residential development of up to one-hundred and twenty units per net acre.

I. MU-SA-50 Mixed-Use Station Area. This district is intended to provide for transit-oriented development to support vitality around transit centers and the historic San Carlos Train Depot and provide linkages to the downtown core and neighborhoods adjacent to Old County Road. Allowable uses include retail, commercial, and office uses, as well as residential development of up to fifty units per net acre.

~~J.~~ MU-SC-120 Mixed-Use San Carlos Avenue. This district is intended to allow one or more of a variety of residential and nonresidential uses to encourage a greater mix and intensity of uses in a pedestrian-scaled environment at a scale and form that is appropriate to its neighborhood context and adjacent residential uses and forms. This district is also intended to provide transit-oriented development that supports multi-modal transportation. Allowable uses include commercial and office uses, as well as residential development up to one-hundred and twenty fifty-nine units per net acre.

~~KJ.~~ MU-NB-120 Mixed-Use North Boulevard. This district is intended to facilitate the transformation of the northern portion of El Camino Real into a multi-modal, mixed-use corridor. The physical form varies to reflect the urban character of the El Camino Real corridor and to transition to surrounding, lower-density districts. This district allows a mix of residential development of up to fifty-one-hundred and twenty units

per net acre and retail and commercial uses, as well as hotels and other commercial uses oriented toward a regional market.

~~K. MU-SB Mixed-Use South Boulevard. This district is intended to facilitate the transformation of the southern portion of El Camino Real into a multi-modal, mixed-use corridor. The physical form varies to reflect the urban character of the El Camino Real corridor and to transition to surrounding, lower-density districts. This district allows a mix of residential development of up to fifty units per net acre and retail and commercial uses, as well as hotels and other commercial uses oriented toward a regional market.~~

~~LK. MU-SB-100 Mixed-Use South Boulevard. This district is intended to facilitate the transformation of the southeastern portion of Laurel Street into a mixed-use corridor. The physical form varies to transition from MU-N-40 west of Laurel Street to MU-SB-120 on El Camino Real. This district allows a mix of residential development of up to one-hundred units per net acre and retail and commercial uses.~~

~~ML. MU-SB-120 Mixed-Use South Boulevard. This district is intended to facilitate the transformation of the southern portion of El Camino Real into a multi-modal, mixed-use corridor. The physical form varies to reflect the urban character of the El Camino Real corridor. This district allows a mix of residential development of up to one-hundred and twenty units per net acre and retail and commercial uses, as well as hotels and other commercial uses oriented toward a regional market.~~

~~NM. MU-N-40 Neighborhood Mixed-Use. This district is intended to provide an appropriate transition from mixed-use areas into the residential neighborhoods. This district allows a mix of residential and commercial development appropriately scaled to ensure a residential physical form to relate to adjacent single-family residential neighborhoods. Allowable uses include retail, commercial, and office uses, as well as residential development of up to twenty forty units per net acre. (Ord. 1438 § 4 (Exh. A (part)), 2011)~~

~~ON. MU-N-50 Neighborhood Mixed-Use. This district is intended to provide an appropriate transition from mixed-use areas into the residential neighborhoods. This district allows a mix of residential and commercial development appropriately scaled to ensure a residential physical form to relate to adjacent single-family residential neighborhoods. Allowable uses include retail, commercial, and office uses, as well as residential development of up to fifty units per net acre.~~

~~PO. MU-N-120 Neighborhood Mixed-Use. This district is intended to reflect the form of El Camino Real while providing a transition from MU-NB-120 to MU-N-50 and RM-100 zoning districts. This district allows a mix of residential and commercial development appropriately scaled to ensure a residential physical form to relate to adjacent single-family residential neighborhoods. Allowable uses include retail, commercial, and office uses, as well as residential development of up to one-hundred and twenty units per net acre.~~

18.05.020 Land use regulations. Revised 11/20 Revised 3/21

Table 18.05.020 prescribes the land use regulations for mixed-use districts. The regulations for each district are established by letter designations as follows:

“P” designates permitted uses.

“M” designates use classifications that are permitted after review and approval of a minor use permit by the Zoning Administrator.

“C” designates use classifications that are permitted after review and approval of a conditional use permit by the Planning Commission.

“(#)” numbers in parentheses refer to specific limitations listed at the end of the table.

“-” designates uses that are not permitted.

Use classifications are defined in Chapter 18.40, Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other sections of this title.

TABLE 18.05.020: LAND USE REGULATIONS—MIXED-USE DISTRICTS

Use Classifications	MU - DC- <u>100</u>	<u>MU-</u> <u>D-</u> <u>100</u>	<u>MU-</u> <u>D-</u> <u>120</u>	MU- SC- <u>120</u>	MU - NB - <u>120</u>	MU- SB- <u>100</u> <u>100</u>	<u>MU-</u> <u>SB-</u> <u>120</u>	MU -N- <u>40</u>	<u>MU-</u> <u>N-</u> <u>50</u>	<u>MU-</u> <u>N -</u> <u>120</u>	Additional Regulations
Residential Use											
Residential Housing types	See subclassification below										
Multi-Unit Residential	P(1)	<u>P(1)</u>	<u>P(2)</u>	P	P(2)	P	<u>P(2)</u>	P(3)	<u>P(2)</u>	<u>P(2)</u>	
Accessory Dwelling Unit	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	Only if it includes a proposed or existing dwelling
Junior Accessory Dwelling Unit	-	-	-	-	-	-	-	-	-	-	
Elderly and Long- Term Care	-	-	-	C	-	-	-	-	-	-	

Family Child Care	See subclassifications below										
Small	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	
Large	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section 18.23.090 Day care centers and large family child care homes
Residential Care Facilities	See subclassifications below										
General	-	<u>M(1)</u>	<u>M(1)</u>	M	-	-	<u>-</u>	-	<u>-</u>	<u>-</u>	See Section 18.23.200, Residential care facilities
Limited	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	
Senior	-	<u>M(1)</u>	<u>M(1)</u>	M	-	-	<u>-</u>	-	<u>-</u>	<u>-</u>	See Section 18.23.200, Residential care facilities
Single Room Occupancy	C(1)	<u>C(1)</u>	<u>C(1)</u>	C	C(1)	C(1)	<u>C(1)</u>	C(3, 14)	<u>C</u>	<u>C</u>	See Section 18.23.220, Single room occupancy hotels
Transitional Housing	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section 18.23.25 Transitional and supportive housing
Supportive Housing	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section 18.23.25 Transitional and supportive housing
Colleges and Trade Schools, Public or Private	-	-	-	-	P	P	<u>P</u>	-	-	-	
Community Assembly less Than 3,500 Square Feet	-	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	M	<u>M</u>	<u>M</u>	See Section 18.23.080, Community assembly facilities
Community Assembly, 3,500 Square Feet or More	-	<u>C</u>	<u>C</u>	C	M	M	<u>M</u>	-	<u>-</u>	<u>-</u>	
Community Garden	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	
Cultural Institutions	C(4)	<u>P</u>	<u>P</u>	C	M	M	<u>M</u>	M	<u>M</u>	<u>M</u>	
Day Care Centers	-	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section 18.23.090, Day care

[illegible]

	C(17)	<u>C(17)</u>	<u>C(17)</u>	-	C(17)	C(17)	<u>C(17)</u>	-	-	-	Formula business uses
Small-Scale	-	<u>C(17)</u>	<u>C(17)</u>	-	C(17)	C(17)	<u>C(17)</u>	-	-	-	
Large- Scale	-	<u>C(17)</u>	<u>C(17)</u>	-	C(19)	-	-	-	-	-	
Eating and Drinking Establishments	See subclassifications below										
Bars/Night Club/Lounges	C(17)	<u>C(17)</u>	<u>C(17)</u>	-	C(17)	C(17)	<u>C(17)</u>	-	-	-	See Section 18.23.140, Outdoor dining, and Section 18.23.260 Formula business uses
Full Service	P(17)	<u>P(17)</u>	<u>P(17)</u>	P	P(17)	P(17)	<u>P(17)</u>	C(10, 17)	<u>C(10, 17)</u>	<u>C(10, 17)</u>	
Convenience	P(18)	<u>P(18)</u>	<u>P(18)</u>	P	P(18)	P(18)	<u>P(18)</u>	C(10)	<u>C(10)</u>	<u>C(10)</u>	
Food Preparation	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section, 18.23.260 Formula business uses
Funeral Parlors and Mortuaries	-	<u>C</u>	<u>C</u>	C	C	C	<u>C</u>	-	-	-	
Lodging	See subclassifications below										
Bed and Breakfast	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section 18.23.070, Bed and breakfast lodging, and Section 18.23.260, Formula business uses
Hotels and Motels	P(11, 17)	<u>P(17)</u>	<u>P(17)</u>	M	P(17)	P(17)	<u>P(17)</u>	M(14, 17)	<u>M(17)</u>	<u>M(17)</u>	See Section 18.23.260, Formula business uses
Nurseries and Garden Centers	P(9, 20)	<u>P(9, 20)</u>	<u>P(9, 20)</u>	-	P(9, 20)	P(9, 20)	<u>P(9, 20)</u>	P(9, 20)	<u>P(9, 20)</u>	<u>P(9, 20)</u>	See Section 18.23.260, Formula business uses
Offices	See subclassifications below										
Business and Professional	P(12)	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Section 18.23.260, Formula

Facilities within Buildings	-	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	
Transportation Passenger Terminals	-	-	-	-	-	-	-	-	-	-	
Utilities, Minor	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	
Other Applicable Types											
Accessory Uses and Structure	See Section 18.23.030, Accessory use, and Section 18.15.020, Accessory buildings, and structures										
Home Occupations	P	<u>P</u>	<u>P</u>	P	P	P	<u>P</u>	P	<u>P</u>	<u>P</u>	See Sections 18.23.120, Home occupations
Drive-In and Drive-Through Facilities	Prohibited in MU districts; see Section 18.23.100. Drive-in and drive-through facilities										
Nonconforming Use	Chapter 18.19, Nonconforming Uses, Structures, and Lots										
Temporary Use	Chapter 18.31, Temporary Use Permits										

Specific Limitations:

1. Not allowed on the ground floor along Laurel Street and San Carlos Avenue frontages.
2. Conditional use permit approval required to allow residential uses on the ground floor along El Camino Real frontage.
3. Not allowed on the ground floor along Old County Road.
4. Not allowed on Laurel Street or San Carlos Avenue.
5. Provided that such use shall be completely enclosed in a building of soundproof construction.
6. For properties without frontage along El Camino Real, only retail sales consistent with the definition of "general retail" and five thousand square feet or less.
7. Must be within an enclosed structure.
8. Limited to establishments with a gross floor area of two thousand five hundred square feet or less. Limited to the ground floor of a building located on an interior lot a minimum of five hundred feet from any other financial institution.
9. Limited to establishments with a gross floor area of five thousand square feet or less.
10. Permitted after review and approval of a minor use permit by the Zoning Administrator if less than twelve chairs.
11. Limited to upper stories unless at least fifty percent of ground floor street frontage is occupied by food service use.

12. Limited to upper stories.
13. Permitted if existing. Additions to existing facilities and establishment of new facilities are subject to Section 18.23.170, Personal services.
14. Not allowed along East San Carlos Avenue.
15. Limited to neighborhood groceries with less than one thousand five hundred square feet of sales area when located along East San Carlos Avenue.
16. The sale of alcoholic beverages is prohibited.
17. Not permitted on sites where the shopfront of such nonresidential use faces onto R zoning districts.
18. Minor use permit required for sites adjacent to R districts.
19. On the east side of El Camino Real only; in all other areas this use is not permitted.
20. Uses that require a commercial cannabis business permit are not permitted.

(Ord. 1568 § 1 (Exh. A), 2021; Ord. 1566 (Exh. B (part)), 2020; Ord. 1540 (Exh. A), 2019; Ord. 1525 § 2(1) (Exh. A (part)), 2017; Ord. 1518 § 3 (Exh. A), 2017; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

18.05.030 Development standards.

Tables 18.05.030-1 through 18.050.030-6 prescribe the development standards for mixed-use districts. Additional regulations are denoted in a right-hand column. Section numbers in this column refer to other sections of this title, while individual letters refer to subsections that directly follow the table. The numbers in each illustration in this section refer to corresponding regulations in the “#” column in the associated table.

TABLE 18.05.030-1: LOT, DENSITY, AND FAR STANDARDS—MIXED-USE DISTRICTS

District	MU- DC- 100	MU- D- 100	MU- D- 120	MU- SC- 120	MU- NB- 120	MU- SB- 100	MU- SB- 120	MU-N -40	MU- N-50	MU- N- 120	Additional Regulations	#
Maximum Density (units/net acre)	<u>50</u> <u>100</u>	<u>100</u>	<u>120</u>	<u>59</u> <u>120</u>	<u>50</u> <u>120</u>	<u>50</u> <u>100</u>	<u>120</u>	<u>20</u> <u>40</u>	<u>50</u>	<u>120</u>		
Minimum Density (units/net acre)	<u>75</u>	<u>75</u>	<u>90</u>	<u>90</u>	<u>90</u>	<u>75</u>	<u>90</u>	<u>30</u>	<u>38</u>	<u>90</u>		
Minimum Lot Size (sq. ft.)	5,000	<u>5,000</u>	<u>5,000</u>	5,000	5,000	5,000	<u>5,000</u>	5,000	<u>5,000</u>	<u>5,000</u>		
Minimum Lot Width (ft.)	50	<u>50</u>	<u>50</u>	50	50	50	<u>50</u>	50	<u>50</u>	<u>50</u>		

Maximum Floor Area Ratio (FAR)	2.5(A)	<u>3.0 (A)</u>	<u>3.0 (A)</u>	3.0(A)	<u>2.5(A)</u> <u>3.0(A)</u>	<u>2.5(A)</u> <u>3.0(A)</u>	<u>3.0 (A)</u>	<u>2.5(A)</u> <u>3.0(A)</u>	<u>2.5(A)</u>	<u>3.0 (A)</u>		
(1) Minimum Density requirement is triggered for new development projects only, not for minor additions or improvements.												

A. Increased FAR for Mixed-Use Buildings. The maximum allowable FAR may be increased by up to ten percent for buildings that contain a mix of residential and nonresidential uses through the provision of one or more of the following elements beyond what is otherwise required, subject to conditional use permit approval:

1. Car-share or electric car facilities.

2. Additional public open space or contribution to a parks fund.

1. Provision of off-site improvements. This may include off-site amenities and/or infrastructure (other than standard requirements and improvements) such as right-of-way or streetscape improvements or funding for parks, public safety facilities, libraries, senior centers, community meeting rooms, child care or recreation or other community benefit. The Director may require a Fiscal and Economic Impact Report, or equivalent, as part of the conditional use permit application.

4. Provision of green roofs, solar panels, and other green building measures.

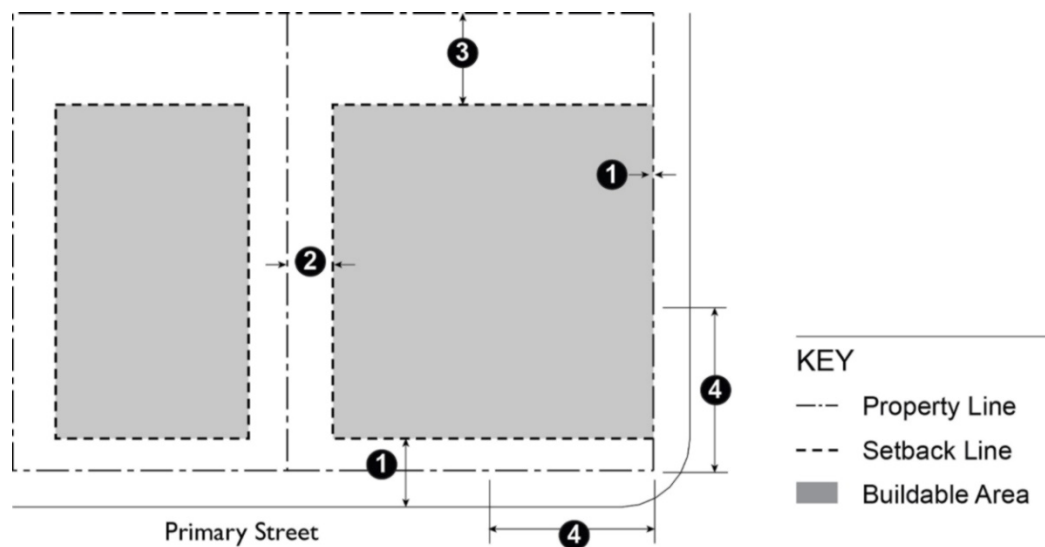


TABLE 18.05.030-2: BUILDING PLACEMENT STANDARDS—MIXED-USE DISTRICTS

District	MU-DC-100	MU-D-100	MU-D-120	MU-SC-120	MU-NB-120	MU-SB-100	MU-SB-120	MU-N-40	MU-N-50	MU-N-120	Additional Regulations	#	
Setbacks, Residential-Only Development	Subject to the setback requirements of the RM District												
Street Frontage Setbacks, Commercial and Mixed-Use Development (ft.)													
Laurel Street	Property line or 15 ft from curb (the greater) for all MU districts										(B)	1	
El Camino Real	Property line or 20 ft from the curb (the greater)	n/a	n/a	Property line or 15 ft from curb (the greater)	5 min 15 max	0 min, 5 max	0 min, 5 max	n/a	5 min, 15 max	5 min 15 max	(B)	1	
San Carlos Avenue	Property line or 15 ft from curb (the greater)	n/a	n/a	Property line or 15 ft from curb (the greater)	n/a	n/a	n/a	n/a	n/a	n/a	(B)	1	
Elm Street	0 min, 10 max	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a		1	
All Other Streets	5 min, 15 max*	5 min, 15 max	5 min, 15 max	5 min, 15 max	5 min, 15 max	0 min, 5 max	0 min, 5 max	5 min, 15 max	5 min, 15 max	5 min, 15 max		1	
Interior Side	0 min; 10 min adjacent to RS district for all MU districts										(C)	2	
Rear	0 min; 30 min adjacent to RS district for all MU districts										(C)	3	
Corner Build Area (ft.)	30; buildings must be located in accordance with the required setbacks within 30 feet of every corner. Public plazas may be at the street corner provided buildings are built to the edge of the public plaza.											4	

* Applicable to 700 and 800 blocks of Walnut Street only.

B. Build-To Line. Buildings shall be constructed at the required setback for eighty percent of linear street frontage. The area between the building and property line shall be paved so that it functions as a wider public sidewalk. This requirement may be modified or waived by the review authority upon finding that:

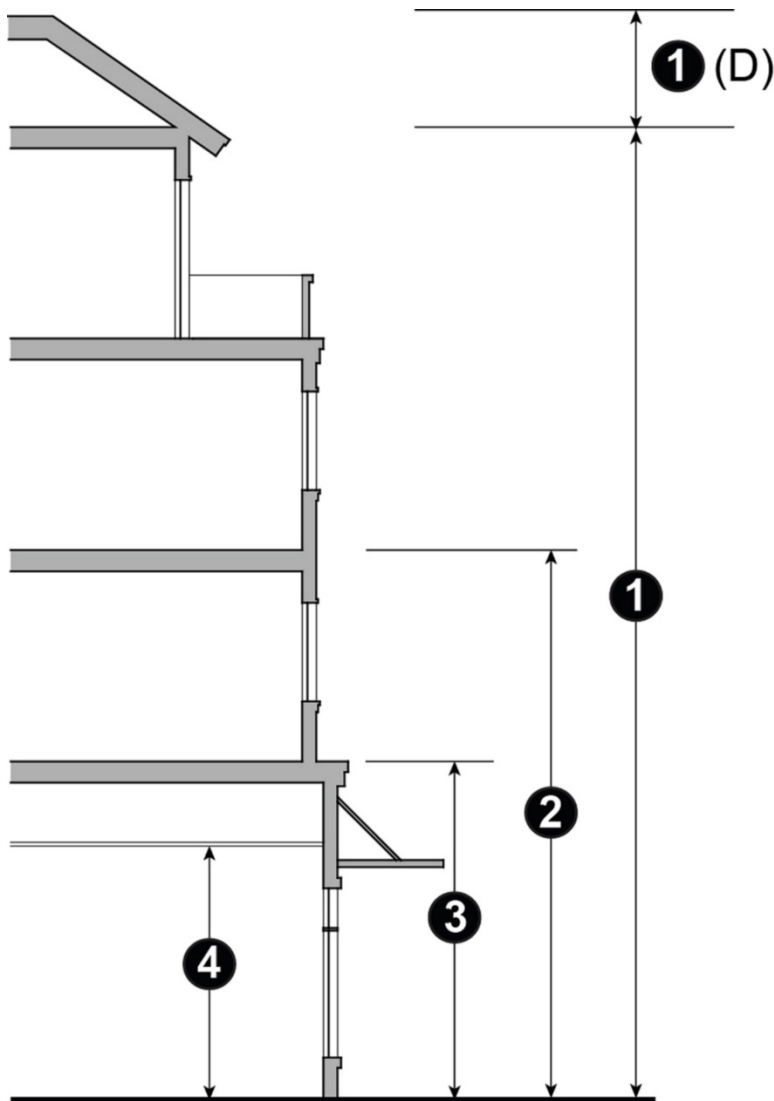
1. Substantial landscaping is located between the build-to line and ground floor residential units to soften visual impact of buildings;
2. Entry courtyards, plazas, entries, or outdoor eating and display areas are located between the build-to line and building; provided, that the buildings are built to the edge of the courtyard, plaza, or dining area; or
3. The building incorporates an alternative entrance design that creates a welcoming entry feature facing the street.

- 1.— For any wall containing living room or other primary room windows, a setback of at least fifteen feet shall be provided.
- 2.— For any wall containing sleeping room windows, a setback of at least ten feet shall be provided.
- 3.— For all other walls containing windows, a setback of at least five feet shall be provided.

TABLE 18.05.030-3: HEIGHT STANDARDS—MIXED-USE DISTRICT

[illegible]

Adjacent to RS District												
Building Minimum (ft.)	n/a	25; Applicable only along Laurel Street and El Camino Real frontages		n/a								2
Maximum Stories	4(1)	<u>5</u>	<u>6</u>	<u>6</u>	<u>46</u>	<u>5</u>	<u>6</u>	4; <u>3</u> along E. San Carlos Ave. in MU-N-40 district	4	<u>6</u>	<u>(E)</u>	
Ground Floor Minimum Height												
Ground Residential Floor Uses (ft.)	12	<u>12</u>	<u>12</u>	12	12	12	<u>12</u>	<u>12</u>	<u>12</u>	<u>12</u>		<u>3</u>
Ground Floor Nonresidential Uses (ft.)	16	16	16	16	16	16	16	16	16	16		3
First Floor Ceiling Height, Nonresidential Uses (ft. clear)	12	<u>12</u>	<u>12</u>	<u>12</u>	<u>12</u>	12	<u>12</u>	<u>12</u>	<u>12</u>	<u>12</u>		4



1. A use permit is required for the fourth story for parcels with street frontage onto Laurel Street in the 600, 700, and 800 blocks.

D. Height Limitations and Exceptions.

1. Projections. Except along East San Carlos Avenue, a parapet wall, cornice or sloping roof may project up to four feet above the height limit.
2. Towers. If the project site is greater than fifteen thousand square feet and not located along East San Carlos Avenue, a tower or other projecting architectural elements may extend up to ten feet above the top of a pitched roof; provided, that the square footage of the element(s) does not total more than ten percent of the building footprint. The area above the uppermost permitted floor of the element(s) shall not be habitable space.

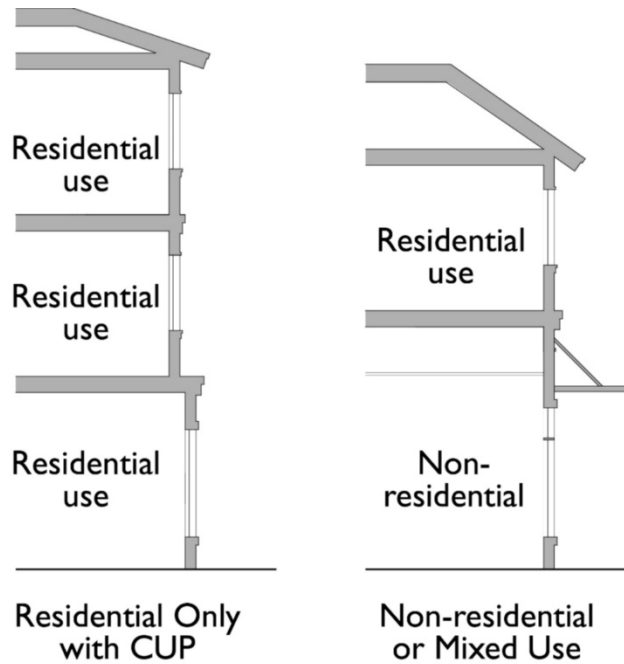
- a. The composition of the tower element shall be balanced, where the width of the tower has a proportional relationship to the height of the tower.
- b. The tower element shall be proportional to the rest of the building.
- c. The roof shall be sloped and include architectural detailing, such as a cornice or eave.

~~3. East San Carlos Avenue—MU-N District. The maximum height along East San Carlos Avenue in the MU-N District is thirty feet. Up to thirty-five feet may be allowed with a minimum roof pitch of 6:12.~~

**FIGURE 18.05.030-D: HEIGHT LIMITATIONS—MU-N DISTRICT ALONG
EAST SAN CARLOS AVENUE**

E. Upper Story Limitations.

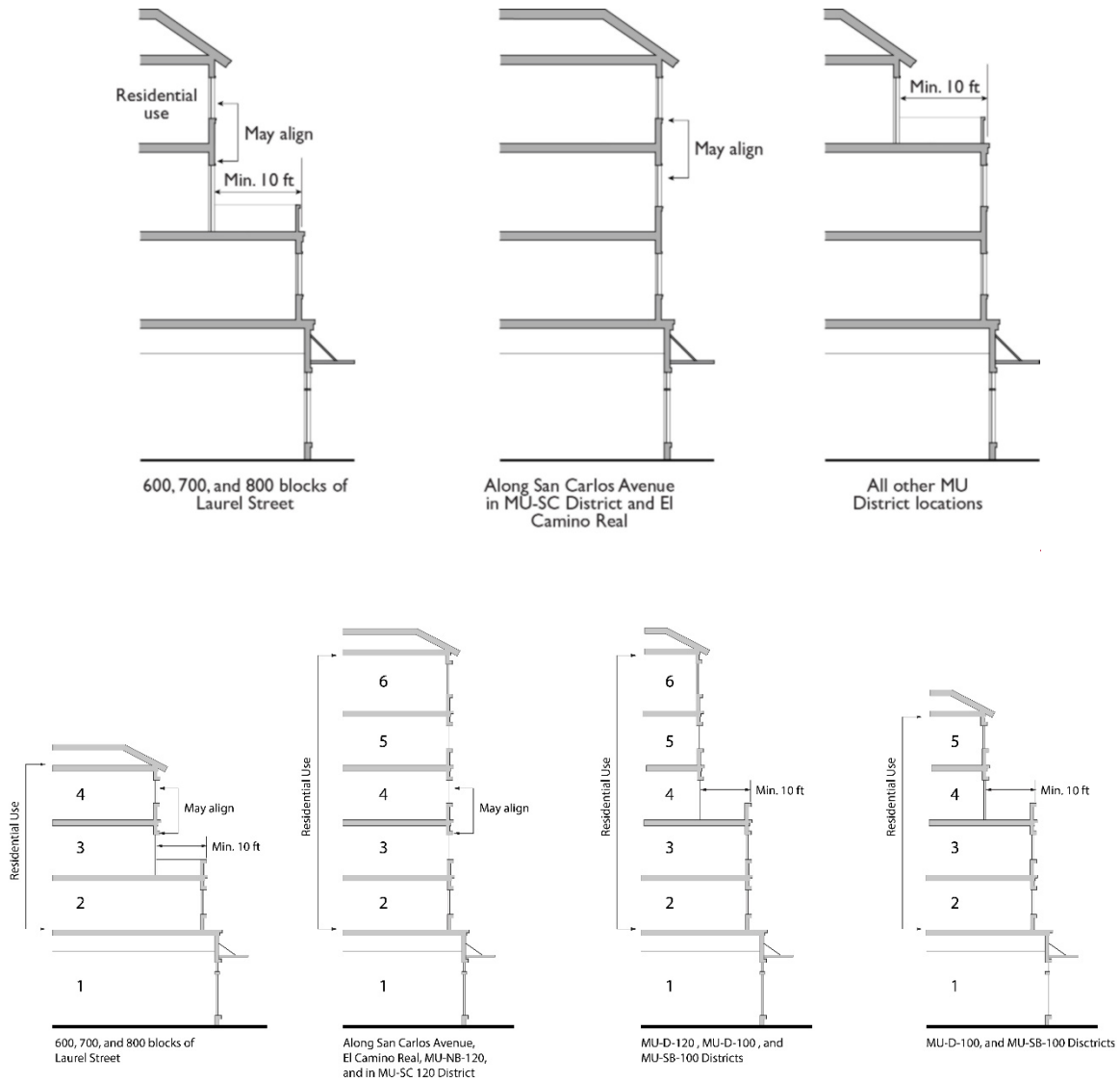
~~1. Third Story—East San Carlos Avenue. Along East San Carlos Avenue in the MU-N-40 District, a third story may be allowed for a residential-only project subject to conditional use permit approval.~~



2. Upper Story Stepbacks.

- a. Third Story—Laurel Street. The third story along the 600, 700, and 800 blocks of Laurel Street shall be set back a minimum of ten feet from the story below.
- b. Fourth, Fifth, and Sixth Stories~~y~~. The fourth, fifth, and sixth stories~~y~~ of all buildings shall be stepped back a minimum of ten feet from the third story below, except as provided in this section.
- c. Laurel Street. The fourth story along the 600, 700, and 800 blocks of Laurel Street may align with the story below.
- d. San Carlos Avenue and El Camino Real. The fourth, fifth, and sixth -story front facades may align with the third story below along San Carlos Avenue in the MU-SC District and along El Camino Real (exception: this provision does not apply to the 1100 and 1200 blocks of San Carlos Avenue).

FIGURE 18.05.030-E(2): UPPER STORY STEPBACKS



F. **Building Projections.** The maximum width of any single projection is ten feet and the total width of all projections along a building face shall not be more than twenty-five percent of the building frontage.

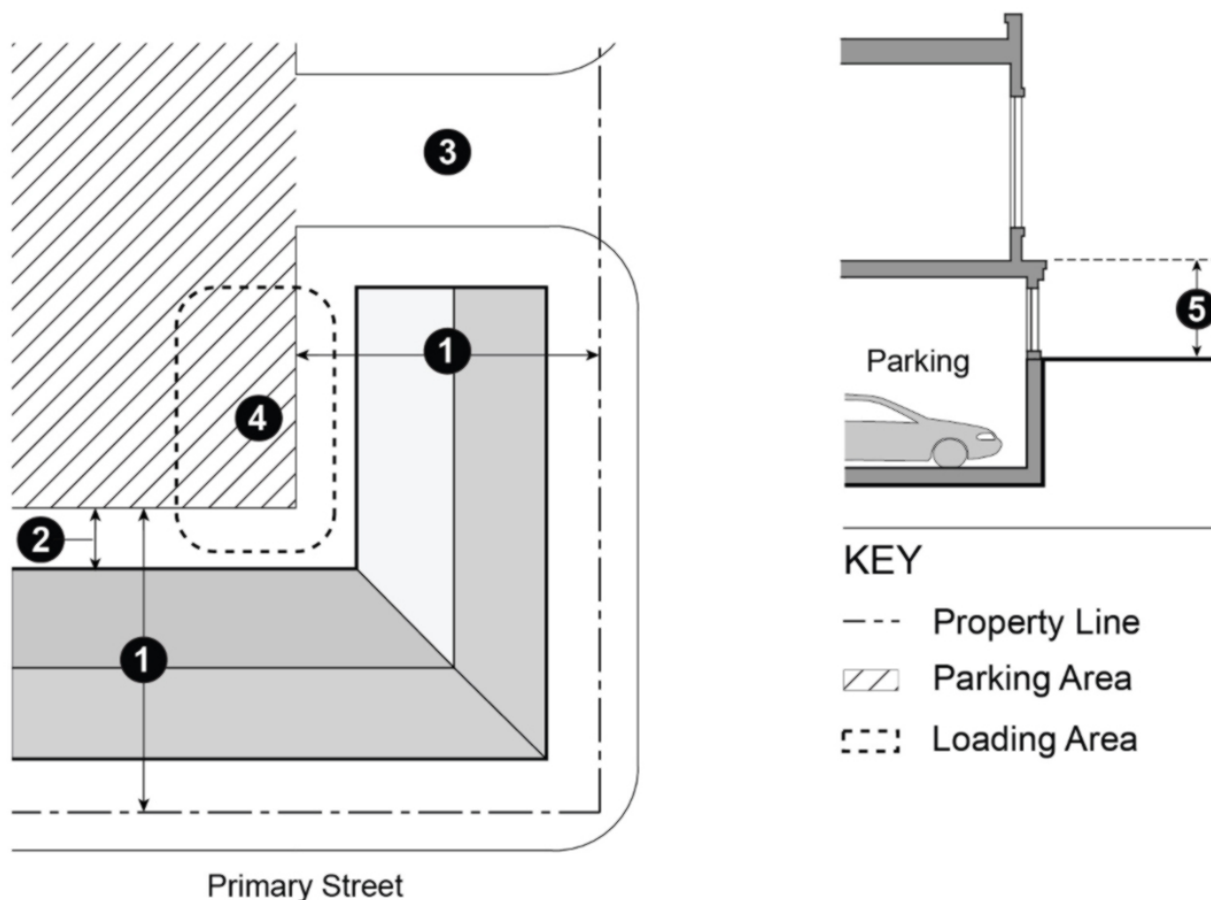


TABLE 18.05.030-5: PARKING AND LOADING STANDARDS—MIXED-USE DISTRICTS

District	MU- DC- <u>100</u>	MU- D- <u>100</u>	MU- D- <u>120</u>	MU- SC- <u>120</u>	MU- NB - <u>120</u>	MU- SB- <u>100</u>	MU- SB- <u>120</u>	MU- N- <u>40</u>	MU- N- <u>50</u>	MU- N- <u>120</u>	Additional Regulations	#
Setback from Street Property Line (ft.)	40; buildings shall be placed as close to the street as possible, with parking underground, behind a building, or on the interior side or rear of the site.										G	1
Setback from Buildings and Public Plazas (ft.)	8 ft: 5 ft walkway plus 3 ft landscaping; applicable only to above-ground parking.											2
Access Location	Side street or alley wherever possible.											3

Curb Cuts	Prohibited on Laurel	Minimized and in area least likely to impede pedestrian circulation.		
Loading/Service Area	Side or rear of lot; must be screened from public ROW.			4
Parking Podium	Maximum height of a parking podium visible from the street is 5 feet from finished grade.			5

G. Limitations on Location of Parking. Parking may be located within forty feet of the street-facing property line, subject to the following requirements.

1. Underground and Partially Submerged Parking. Parking completely or partially underground may match the setbacks of the main structure. The maximum height of a parking podium visible from a street is five feet from finished grade.
2. Surface Parking. Above-ground surface parking may be located within forty feet of a street-facing property line with the approval of a conditional use permit when the Planning Commission makes the following findings:
 - a. Buildings are built close to the public sidewalk to the maximum extent feasible;
 - b. The parking area is screened along the public right-of-way with a wall, hedge, trellis, and/or landscaping; and
 - c. The site is small and constrained such that underground, partially submerged, or surface parking located more than forty feet from the street frontage is not feasible

TABLE 18.05.030-6 LANDSCAPING AND OPEN SPACE STANDARDS-MIXED USE DISTRICTS

District	MU- DC- <u>100</u>	<u>MU</u> -D- <u>100</u>	<u>MU</u> -D- <u>120</u>	MU - SC- <u>120</u>	M U- N B - <u>12</u> <u>0</u>	M U- SB - <u>10</u> <u>0</u>	<u>MU</u> -SB- <u>120</u>	MU- N- <u>40</u>	<u>MU</u> -N- <u>50</u>	<u>M</u> U- N- <u>12</u> <u>0</u>	Additional Regulations	#
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Minimum Residential Open Space	<u>100</u>			<u>150</u>	<u>150</u>	<u>150</u>		<u>150</u>				
Minimum Public and/or Private Open Space (% of site)	10; applicable only to mixed-use and nonresidential development on lots greater than 15,000 square feet <u>and to developments that are 100% residential.</u>											
Minimum Dimensions (ft.)	20	<u>20</u>	<u>20</u>	<u>20</u>	<u>20</u>	<u>20</u>	<u>20</u>	<u>20</u>	<u>20</u>	<u>20</u>		
Minimum Amount of Landscaping (% of site)	10	<u>10</u>	<u>10</u>	<u>1510</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>		

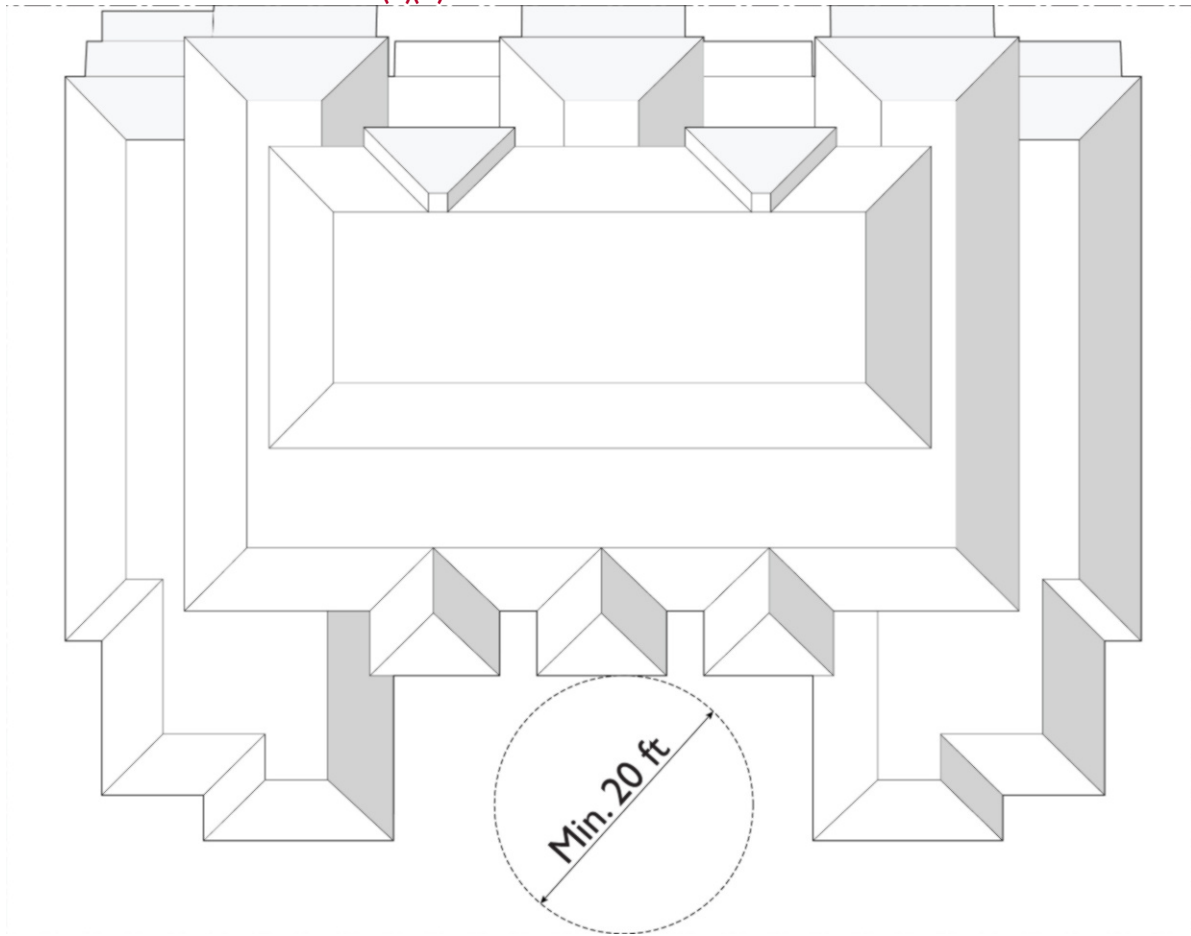
H. Landscaping and Residential Open Space. Landscaping and residential open space shall be provided as required by Table 18.05.030-6. Residential open space may be common or private or a combination thereof. Private areas typically consist of balconies, decks, patios, fenced yards, and other similar areas outside the residence. Common areas typically consist of landscaped areas, walks, patios, swimming pools, barbecue areas, playgrounds, turf, or other such improvements as are appropriate to enhance the outdoor environment of the development. Landscaped courtyard entries that are oriented towards a public street are considered common areas. All areas not improved with buildings, parking, vehicular accessways, trash enclosures, and similar items shall be developed as common areas.

1.— Minimum Dimensions

a.— Private Open Space. Private open space located on the ground level (e.g., yards, decks, patios, roof decks) shall have no horizontal dimension less than ten feet. Private open space located above ground level (e.g., balconies) shall have no horizontal dimension less than six feet.

a.— Common Open Space. Minimum horizontal dimension of twenty feet.

FIGURE 18.05.030-H(1)(B): COMMON OPEN SPACE MINIMUM DIMENSIONS



21. Usability. A surface shall be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practicable combination of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust-free surfacing. The maximum slope shall not exceed ten percent.

32. Accessibility.

- a. Private Open Space. The space shall be accessible to only one living unit by a doorway to a habitable room or hallway.
- b. Common Open Space. The space shall be accessible to the living units on the lot. It shall be served by any stairway or other accessway qualifying as an egress facility from a habitable room. (Ord. 1485 (Exh. A), 2015; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

18.05.040 Supplemental regulations.

A. Maximum Block Length. Five hundred feet; block length of up to six hundred feet is allowed when a mid-block pedestrian connection is provided.

B. Street Preservation. Existing public right-of-way shall be preserved. Public right-of-way shall not be eliminated or abandoned unless substantial public benefits are provided, such as a new park, as determined by the review authority.

C. Street Frontage Improvements. New development shall provide street frontage improvements in accordance with the following:

1. Between the Property Line and Curb.

a. Sidewalks. Sidewalks shall be provided if none already exist or if the existing sidewalks are in poor condition as determined by the Public Works Director.

b. Street Furniture. Trash receptacles, benches, bike racks, and other street furniture from a list maintained by the Director shall be provided.

c. Street Lights. Pedestrian scaled street lights, including attachments from which banners may be hung, from a list maintained by the Director shall be provided.

d. Street Trees. Shade trees shall be planted at least thirty feet on center. Tree guards shall be provided. Trees shall be a minimum of fifteen gallons in size, and at least ten percent of the required trees shall be twenty-four-inch box size or larger.

2. Interior from Property Line. Except where occupied by a building or necessary for parking access, the street frontage, for a depth of ten feet from the property line, shall be utilized for active outdoor uses, including but not limited to outdoor dining; paved for public uses so that it functions as part of a wider public sidewalk; or improved with landscaping, public art, and/or pedestrian amenities such as outdoor seating.

D. Building Orientation and Entrances.

1. Buildings shall be oriented to face public streets.

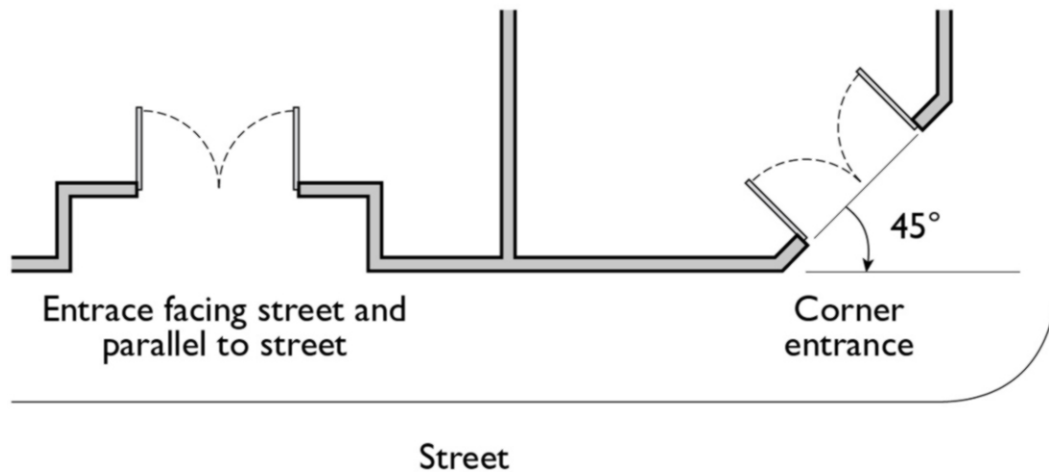
2. Building frontages shall be generally parallel to streets, and the primary building entrances shall be located on a public street.

3. Building entrances shall be emphasized with special architectural and landscape treatments.

4. Entrances located at corners shall generally be located at a forty-five-degree angle to the corner and shall have a distinct architectural treatment to animate the intersection and facilitate pedestrian flow around the corner. Different treatments may include angled or rounded corners, arches, and other architectural elements. All building and dwelling units located in the interior of a site shall have entrances from the sidewalk that are designed as an extension of the public sidewalk and connect to a public sidewalk.

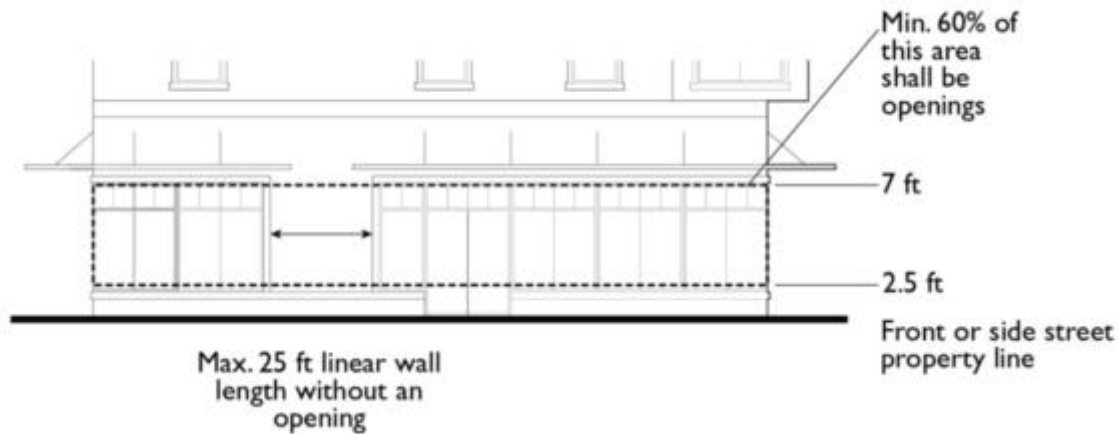
5. Entrances to residential units shall be physically separated from the entrance to the permitted commercial uses and clearly marked with a physical feature incorporated into the building or an appropriately scaled element applied to the facade.

FIGURE 18.05.040-D: BUILDING ORIENTATION AND ENTRANCES



E. Building Transparency—Required Openings for Nonresidential Uses. Exterior walls facing and within twenty feet of a front or street side property line shall include windows, doors, or other openings for at least sixty percent of the building wall area located between two and one-half and seven feet above the level of the sidewalk. No wall may run in a continuous horizontal plane for more than twenty-five feet without an opening.

FIGURE 18.05.040-E: BUILDING TRANSPARENCY—MU DISTRICTS



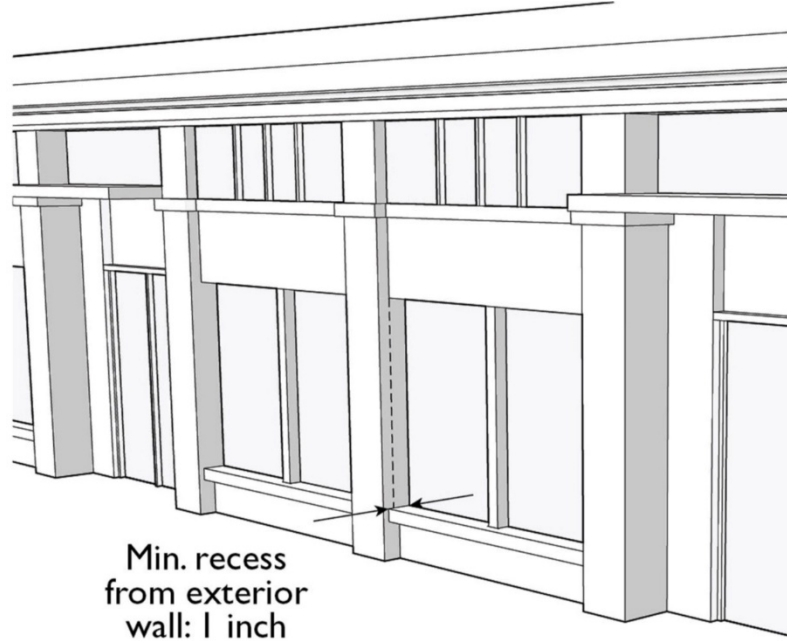
1. Design of Required Openings. Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, display areas, sales areas, lobbies, or similar active spaces, or into window displays that are at least three feet deep.
2. Exceptions for Parking Garages. Multilevel garages are not required to meet the building transparency requirement of this subsection. Instead, they must be screened and treated, consistent with the requirements of Chapter [18.20](#), Parking and Loading.
3. Alternatives through Design Review. Alternatives to the building transparency requirement may be approved if the Planning Commission finds that:
 - a. The proposed use has unique operational characteristics with which providing the required windows and openings is incompatible, such as in the case of a cinema or theater; and
 - b. Street-facing building walls will exhibit architectural relief and detail, and will be enhanced with landscaping in such a way as to create visual interest at the pedestrian level.

F. Building Design and Articulation. Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance. Building design shall reflect and complement the architectural style of significant buildings within the community. This may be accomplished through the incorporation of architectural style, colors, and materials of significant buildings within the community. The following standards apply to commercial and mixed-use development in the MU districts. Residential-only development is subject to the building design standards for the RM districts in Section [18.04.060\(B\)](#), Building Design.

1. Massing. Building massing shall align with the street grid of adjacent blocks.

2. Relation to Existing Buildings. Buildings shall be designed to appear integrated with existing buildings in the district.
3. Wide Buildings. Any building over fifty feet wide shall be broken down to read as a series of buildings no wider than fifty feet each or thirty feet in the MU-DC District or within one hundred feet of the train depot.
4. Vertical Relationship. Buildings shall be designed to have a distinctive base (ground floor level), middle (intermediate upper floor levels), and top (either top floor or roof level). Cornices, balconies, roof terraces, and other architectural elements should be used, as appropriate, to terminate roof lines and accentuate setbacks between stories.
5. Windows.
 - a. Trim at least one inch in depth must be provided around all windows, or window must be recessed at least two inches from the plane of the surrounding exterior wall.

FIGURE 18.05.040-F(5)(a): WINDOW TRIM OR RECESS—MU DISTRICTS



- b. Snap-in vinyl mullions between double pane glass is prohibited. If a divided light appearance is desired, mullions must be made of dimensional material projecting in front of the panes on both the inside and outside of the window.

- c. Exceptions may be granted through the design review process to accommodate alternative window design complementary to the architectural style of the structure.

6. Exterior Building Materials and Colors.

- a. A unified palette of quality materials shall be used on all sides of buildings.
- b. Exterior building materials shall be stone, brick, stucco, concrete block, painted wood clapboard, painted metal clapboard or other quality, durable materials approved by the City as part of the project review.
- c. A wainscoting of quality materials on the bottom eighteen to thirty-six inches of the ground floor facade is required. Exceptions may be granted through the design review process to accommodate alternative design complementary to the architectural style of the structure.
- d. Colors shall be used to help delineate windows and other architectural features to increase architectural interest.

7. Building Details. Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance.

- a. Building facades shall include building projections or recesses, doorway and window trim, and other details that provide architectural articulation and design interest.
- b. All applied surface ornamentation or decorative detailing shall be consistent with the architectural style of the building.
- c. All balconies that do not meet the minimum size required for private open space, such as Juliet balconies, shall have a minimum horizontal dimension of two feet.
- d. Each side of the building that is visible from a public right-of-way shall be designed with a complementary level of detailing.

G. Pedestrian Access. On-site pedestrian circulation and access must be provided according to the following standards:

- 1. Internal Connections. A system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site open space areas or pedestrian amenities.

2. To Circulation Network. Regular connections between on-site walkways and the public sidewalk and other existing or planned pedestrian routes, such as safe routes to school, shall be provided. An on-site walkway shall connect the primary building entry or entries to a public sidewalk on each street frontage.

3. To Neighbors. Direct and convenient access shall be provided from commercial and mixed-use projects to adjoining residential and commercial areas to the maximum extent feasible while still providing for safety and security.

4. To Transit. Safe and convenient pedestrian connections shall be provided from transit stops to building entrances.

5. Across Rail Corridor. Safe and convenient pedestrian connections shall be provided across the rail corridor. If an aerial viaduct or trench is used for rail alignment, the following standards shall apply to the extent feasible given engineering requirements.

- a. Extend the street grid below the aerial viaduct or above the trench to provide new street and pedestrian connections across the corridor.
- b. Locate active commercial uses or public park and recreation space below the aerial viaduct to enhance connectivity and create safe, attractive connections across the rail corridor.
- c. Enhance connections below the viaduct with lighting and public art.

6. Interior Pedestrian Walkway Design.

- a. Walkways shall have a minimum clear unobstructed width of six feet, shall be hard-surfaced, and paved with concrete, stone, tile, brick, or comparable material.
- b. Where a required walkway crosses driveways, parking areas, or loading areas, it must be clearly identifiable through the use of a raised crosswalk, a different paving material, or similar method.
- c. Where a required walkway is parallel and adjacent to an auto travel lane, it must be raised or separated from the auto travel lane by a raised curb at least four inches high, bollards, or other physical barrier.

H. Residential Notification. Residents of mixed-use development shall be informed of potential noise from refuse collection and other activities typically associated with commercial activity.

I. Rail Station.

1. Rail stations shall be designed to have physical presence and visibility on both sides of the rail corridor, including key architectural features that are visible from major roadways and connections, as well as pedestrian-level entries and vehicle drop-off areas.
2. Rain-protected east-west pedestrian connections shall be provided at the ground level of the station to enhance pedestrian connectivity along the rail corridor. These connections should be extensions of the existing street grid and pedestrian network with a minimum clear width of eight feet. (Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)